



APPLICATION FOR A BUILDING PERMIT

(Solid & Lattice Patio Application/Construction Details)

City of San Jacinto | 595 S. San Jacinto Ave | San Jacinto CA 92583 | 951.487.7330 | fax 951.654.9896

| |
|-------|
| Date: |
|-------|

Must print legibly, submit (3) sets of building and plot plans. Fill out all applicable information. If any section does not apply print N/A.

| | | | |
|------------------------------|------------------|----------------------|--------------------------|
| Building Address: | | | APN: |
| Type of Work: | | | Type of Plans Submitted: |
| Sq. Ft. Size: | # of Stories: | # of Dwelling Units: | |
| Valuation: | # of Gallons: | # of BTUs: | |
| Building Owner: | | | Phone: |
| Address: | City: | State: | Zip: |
| Applicant: | | | Phone: |
| Address: | City: | State: | Zip: |
| Contractor: | | | Phone: |
| Address: | City: | State: | Zip: |
| State Lic. # | Expiration Date: | | City Lic. # |
| Architect/Engineer/Designer: | | | Phone: |
| Address: | City: | State: | Zip: |
| State Lic. # | Expiration Date: | | City Lic. # |

| | | | | | |
|--------------------------|-----------------------|-----------------|---------------------------------|---------------------------------------|-------------------------------------|
| OFFICE USE ONLY | Application Received: | | | | |
| Planning Department Use: | 1 st | 2 nd | 3 rd Planning Review | [<input type="checkbox"/>] Approved | [<input type="checkbox"/>] Denied |
| Planning Reviewed By: | | | | Date: | |
| Building Department Use: | 1 st | 2 nd | 3 rd Building Review | [<input type="checkbox"/>] Approved | [<input type="checkbox"/>] Denied |
| Building Reviewed By: | | | | Date: | |
| Comments: | | | | | |



City of San Jacinto

Guidelines for Inspections for all Structures

1. 24 hour notice required for all inspections. All requests must be called or faxed (tracts) in before 4 PM to receive a next day inspection. Upon request the following information must be provided: permit number, project address and the type of inspection being requested.
2. The inspector must have access to an approved set of plans and the permit card must be available at all times during the inspection process.
3. The site location shall be easily identifiable and property lines shall be established.
4. The site shall be free of safety violations and obvious hazards, i.e., nails on boards, all trenches filled as soon as possible.
5. Access shall be provided for all inspections i.e., approved ladder or scaffold, panel covers removed, adequate lighting provided.
6. It is requested that someone be onsite at all times, inspector reserves the right to refuse to perform unsupervised inspections.
7. All work for which a permit is required shall be substantial compliance with all applicable codes. The inspector will approve or reject the work at the time of inspection. Rejection of work will be either verbally or in writing.
8. Appointment for inspection will not be made unless special circumstances warrant them. Hours of inspection will be between 8:30 AM thru 3:30 PM.
9. A re-inspection fee may be assessed at the discretion of the inspector for failure to comply with the requirements of this Department and applicable codes.
10. Any complaints or request for interpretation shall be made in writing and directed to the Building Official.
11. You must request an extension, in writing, before your permit expires or you will have to pay an additional fee.



City of San Jacinto

Smoke Detectors are required for any addition, alteration or repair exceeding \$1,000 in valuation

Smoke Detectors

Section 1210 (a) Smoke Detectors:

- 1. General.** Dwelling units, congregate residences and hotel or lodging house guest rooms that are used for sleeping purposes shall be provided with smoke detectors. Detectors shall be installed in accordance with the approved manufacture's instructions.
- 2. Additions, alterations or repairs to a Group R Occupancies.** When the valuation of an addition, alteration or repair to a Group R Occupancy exceeds \$1,000 and a permit is required, or when one or more sleeping rooms are added or created in existing Group R Occupancies, smoke detectors shall be installed in accordance with Subsection 3, 4 and 5 of this section.
- 3. Power source.** In new construction, required smoke detectors shall receive their primary power from the building wiring when such wiring is served from a commercial source and shall be equipped with a battery backup. The detector shall emit a signal when the batteries are low. Wiring shall be permanent and without a disconnecting switch other than those required for over current protection. Smoke detectors may be solely battery operated when installed in existing buildings without commercial power; or in buildings which undergo alterations, repairs or additions regulated by Subsection 2 of this section.
- 4. Location within dwelling units.** In dwelling units, a detector shall be installed in each sleeping room and at a point centrally located in the corridor or area giving access to each separate sleeping area. When the dwelling unit has more than one story and in the dwelling with basements, a detector shall be installed on each story and in the basement. In dwelling units where a story or basements is split into two or more levels, the smoke detector shall be installed on the upper level, except that when the lower level contains a sleeping area, a detector shall be installed on each level. When sleeping rooms are on the upper level, the detector shall be placed at the ceiling height of the room open to the hallway serving in the bedrooms exceeds that of the hallway be 24 inches or more. Detectors shall sound an alarm audible in all sleeping areas or the dwelling unit in which they are located.
- 5. Location in efficiency dwelling units, congregate residences and hotels.** in efficiency dwelling units, hotel suites and in hotel and congregate residence sleeping rooms, detectors shall be located on the ceiling or wall of the main room or each sleeping room. When sleeping rooms within an efficiency dwelling unit or hotel are on an upper level, the detector shall be placed at the ceiling of the upper level in close proximity to the stairway. When actuated, the detector shall sound an alarm audible within the sleeping area of the dwelling unit, hotel suite or sleeping room in which it is located.

SMOKE DETECTORS SHALL BE INSTALLED PER MANUFACTURER'S REQUIREMENTS

1. CO Detector requirement for CA residence in 2011 (CA Senate Bill SB 183).
2. Effective July 1st, 2011 All existing single family dwellings that contain a fossil fuel burning heater or appliance, fireplace, or an attached garage must install carbon monoxide alarms.
3. All other existing dwellings (multi-family) shall comply by January 1, 2013.
4. CO alarms must be either battery powered or plug-in with battery backup.
5. CO alarms must be installed outside of sleeping areas and on every level of a dwelling, including the basement.
6. For Real Estate Professionals CO detector compliance will part of the TDS
7. Landlords, property managers and property management companies should plan to install detectors in the properties they manage or rent out as they will be required installation.



City of San Jacinto
Building & Safety Division
595 S. San Jacinto, Bldg. A
San Jacinto, CA 92583

SMOKE AND CARBON MONOXIDE ALARM RETROFIT VERIFICATION

I, _____ and, I _____ who own
(Print Property Owner's Name) (Tenant's Name—if owner occupied write "SAME")

and / or live in the dwelling located at _____
(Address)

verify that the smoke and carbon monoxide alarms required by the 2013 California Residential Code have been installed in the dwelling, in compliance with the code and with the Manufactures' instructions and further that they have been tested and do function properly.

In an effort to enhance life safety within dwellings specifically for existing construction, California Residential Code Sections R314 and R315 require smoke and carbon monoxide alarms, respectively, be installed in existing dwellings or sleeping units where (1) a permit is required for alterations, repairs or additions with a total cost or calculated valuation exceeding one thousand dollars (\$1,000) in value and (2) where no construction is taking place, in dwelling units intended for human occupancy that have a fossil-fuel burning heater or appliance, fireplace or an attached garage. Generally, the alarms must be hard wired with battery back-up and all alarms are to be interconnected. If the installation of the alarms will require the removal of wall or ceiling finishes or there is no access by means of attic, basement or crawl space, then the alarms may be solely battery operated and not interconnected. However, in cases where no construction is taking place, alarms are permitted to be solely battery operated or plug-in type with battery back-up. Alarms must be installed in all of the following locations within the existing dwelling.

- In each sleeping room. (Smoke Alarms only)
- Outside of each separate dwelling unit sleeping area in the immediate vicinity of the bedroom (s)
- On every level of a dwelling unit including basements.

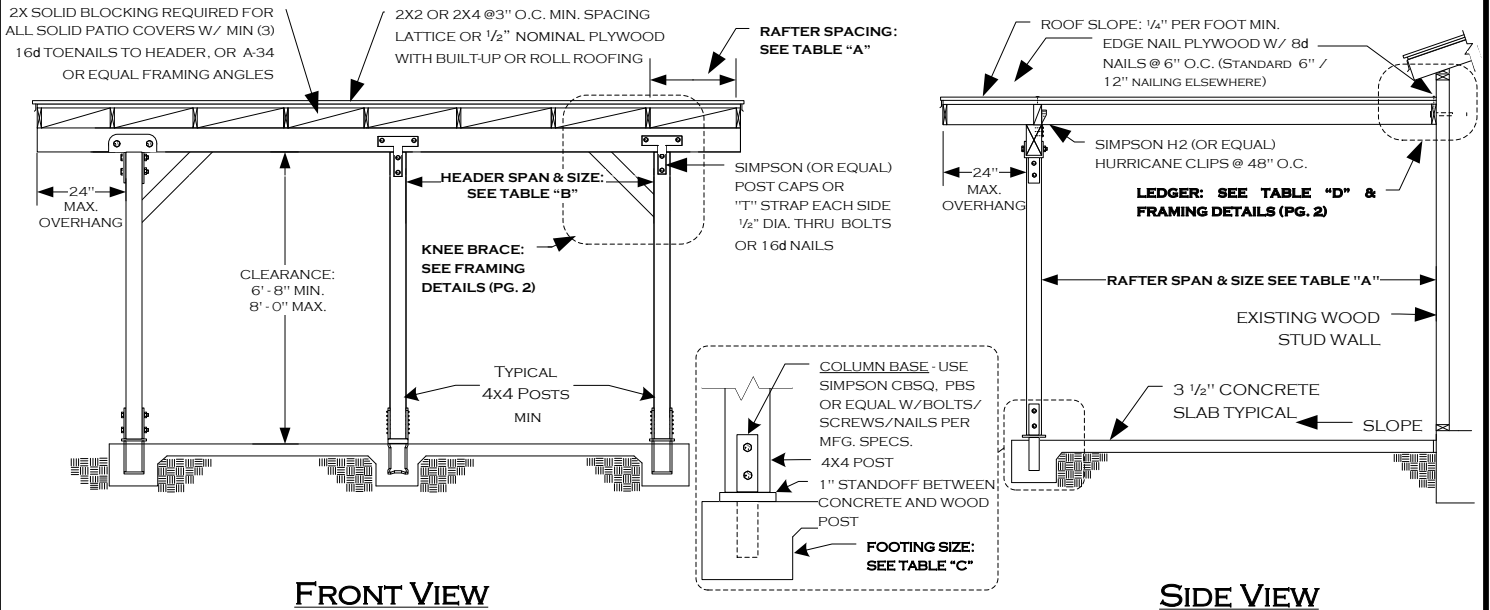
I have read and understand the above requirements and affirm by my signature, that all required alarms mentioned above have been properly installed and tested. (Both signature lines below must be completed.)

Signature of Owner

Date

Signature of Tenant

Date



FRONT VIEW

SIDE VIEW

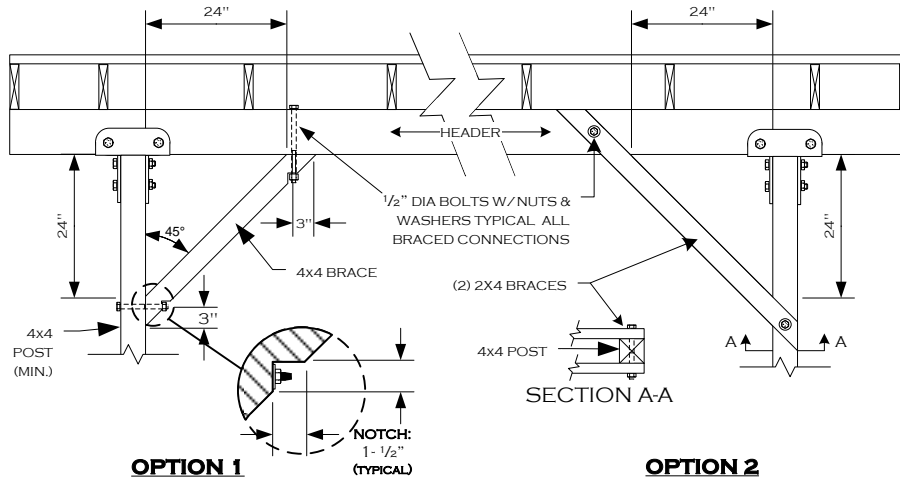
| TABLE "A" RAFTER SPANS (DOUGLAS FIR #2 OR BETTER) | | | TABLE "B" HEADER SIZE & SPANS (DOUGLAS FIR #2 OR BETTER) | | | TABLE "C" FOOTING SIZE BASED ON 1000 P.S.F. SOIL BEARING PRESSURE. | | TABLE "D" LEDGER BOLTING Δ ALL LAG BOLTS SHALL HAVE 1/4" PRE-DRILLED HOLES - (SEE NOTE 2) |
|--|----------|------------|---|------------|--------|---|--|---|
| SIZE | SPACING | SPAN | RAFTER SPAN | HEADER | | | | |
| | | | | SPAN | SIZE | | | |
| 2 x 4 | 12" O.C. | 9' - 10" | UP TO 12'-0" | 8'-0" MAX | 4 x 6 | 18" SQ. X 12" DEEP | | 1/2" DIA. X 5" LONG AT 16" O.C. STAGGERED |
| | 16" O.C. | 8' - 11" | | 10'-0" MAX | 4 x 8 | 18" SQ. X 12" DEEP | | |
| | 24" O.C. | 7' - 8" | | 12'-0" MAX | 4 x 10 | 18" SQ. X 12" DEEP | | |
| | 32" O.C. | *6' - 3" | | 14'-0" MAX | 4 x 12 | 18" SQ. X 12" DEEP | | |
| 2 x 6 | 12" O.C. | 15' - 4" | 12'-1" TO 20'-0" | 8'-0" MAX | 4 x 8 | 24" SQ. X 12" DEEP | | (2) 3/8" DIA X 5" LONG AT 16" O.C. |
| | 16" O.C. | 13' - 9" | | 10'-0" MAX | 4 x 10 | 24" SQ. X 12" DEEP | | |
| | 24" O.C. | 11' - 3" | | 12'-0" MAX | 4 x 12 | 24" SQ. X 12" DEEP | | |
| | 32" O.C. | *9' - 7" | | 14'-0" MAX | 4 x 14 | 24" SQ. X 12" DEEP | | |
| 2 x 8 | 12" O.C. | 20' - 0" | NOTES: 1. TWO 2X MEMBERS MAY BE SUBSTITUTED FOR ONE 4X HORIZONTAL FRAMING MEMBER. 2. LAG BOLTS MUST FULLY ENGAGE A WOOD STUD OR RIM JOIST AND BE PROVIDED WITH APPROPRIATE WASHERS. LAG BOLTS SHALL BE LOCATED A MINIMUM OF 1-1/2" FROM THE TOP OR BOTTOM OF THE LEDGER. 3. NOT DESIGNED TO BE ENCLOSED - ADDITIONAL ENGINEERING ANALYSIS WILL BE REQUIRED IF ENCLOSED. 4. SEE PAGE 2 OF 2 FOR CONSTRUCTION DETAILS. 5. ARTIFICIAL LIGHTING IS REQUIRED IN ROOMS THAT HAVE WINDOW OPENINGS INTO THE COVERED PATIO AREA IF THE TOTAL WINDOW AREA IN THAT ROOM IS LESS THAN 10% OR THE FLOOR AREA OF THE ROOM OR 20 SQUARE FEET, WHICHEVER IS GREATER. Δ | | | | | |
| | 16" O.C. | 18' - 2" | | | | | | |
| | 24" O.C. | 14' - 10" | | | | | | |
| | 32" O.C. | *12' - 8" | | | | | | |
| 2 x 10 | 12" O.C. | 20' - 0" | | | | | | |
| | 16" O.C. | 20' - 0" | | | | | | |
| | 24" O.C. | 18' - 11" | | | | | | |
| | 32" O.C. | *16' - 2" | | | | | | |
| 4 x 4 | 24" O.C. | 10' - 0" | | | | | | |
| | 32" O.C. | *9' - 3" | | | | | | |
| | 48" O.C. | *7' - 8" | | | | | | |
| 4 x 6 | 24" O.C. | 15' - 11" | | | | | | |
| | 32" O.C. | *13' - 9" | | | | | | |
| | 48" O.C. | *11' - 3" | | | | | | |
| 4 x 8 | 24" O.C. | 20' - 0" | | | | | | |
| | 32" O.C. | *18' - 2" | | | | | | |
| | 48" O.C. | *14' - 10" | | | | | | |

* THIS SPACING AND SPAN IS FOR LATTICE PATIO COVERINGS ONLY.

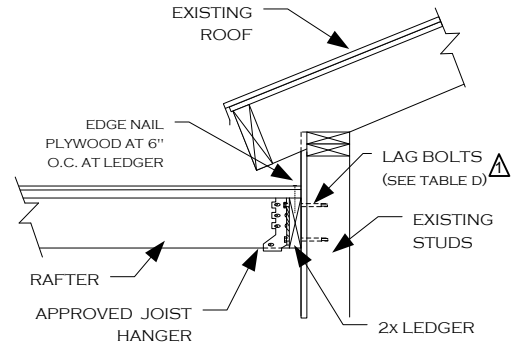
| | | | |
|---|------------------------------|------------------|-------------|
| WESTERN RIVERSIDE COUNTY CODE UNIFORMITY PROGRAM | | | |
| | CITY OF SAN JACINTO | | |
| | BUILDING & SAFETY | | |
| PATIO COVER STANDARD | | | |
| 595 S. SAN JACINTO AVENUE SAN JACINTO, CA 92583 | | | |
| PHONE 951-487-7330 | 1/1/2008 Δ | PATIOSTD2008.VSD | PAGE 1 OF 2 |
| FAX 951-654-9896 | | | |

KNEE BRACE DETAIL AT END POSTS

(REQUIRED WHEN RAFTER SPAN EXCEEDS 12 FT.)



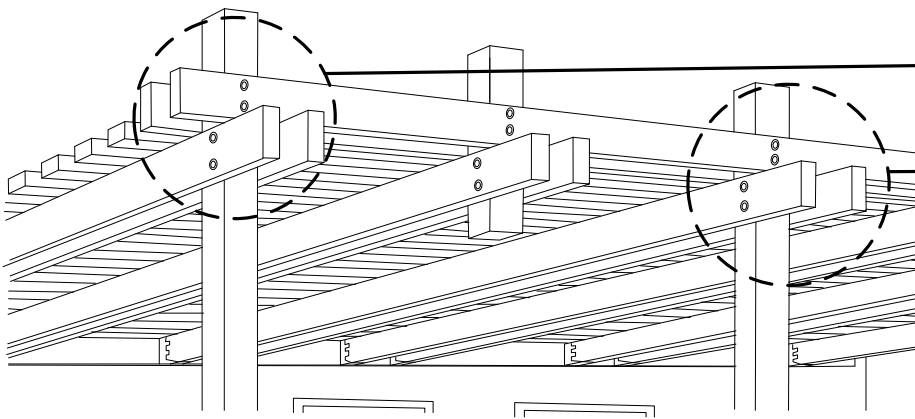
LEDGER ATTACHMENT DETAIL



NOTES:

1. USE A CONTINUOUS 2X LEDGER – SAME DEPTH AS RAFTER OR LARGER
2. SEE TABLE "D" FOR BOLTING REQUIREMENTS

INVERTED HEADER DESIGN OPTION (LATTICE ONLY)



TWO 1/2" DIA. THRU-BOLTS (W/ WASHERS), PER CONNECTION AS SHOWN

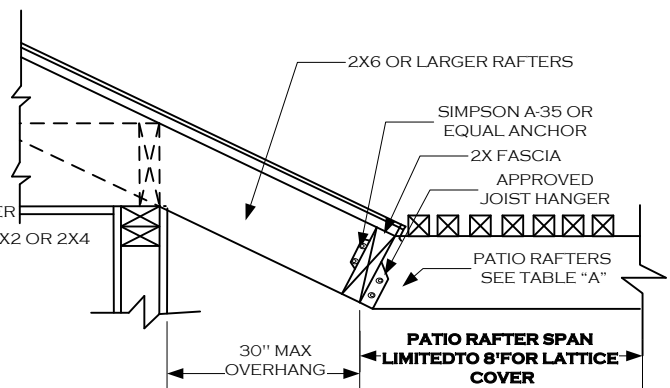
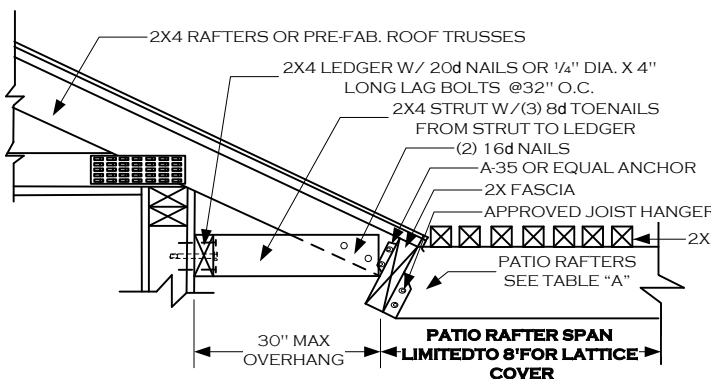
FOR HEADERS OR RAFTERS- TWO 2X MEMBERS MAY BE SUBSTITUTED FOR ONE 4X MEMBER. SEE TABLES "A" & "B" FOR SPAN LIMITS

NOTE: KNEE BRACING REQUIRED WHEN RAFTER SPAN EXCEEDS 12 FEET

2X FASCIA (OVERHANG) ATTACHMENT – LATTICE ONLY

OPTION 1

OPTION 2



NOTE: VERIFY STRUCTURAL SOUNDNESS OF ROOF RAFTERS FOR DECAY OR TERMITE DAMAGE, AND REPLACE WITH LIKE MATERIALS AS NEEDED, AFTER CONSULTATION WITH THE BUILDING DEPARTMENT.

WESTERN RIVERSIDE COUNTY CODE UNIFORMITY PROGRAM



CITY OF SAN JACINTO BUILDING & SAFETY

PATIO COVER STANDARD

PHONE 951-487-7330

FAX 951-654-9896

595 S. SAN JACINTO AVENUE
SAN JACINTO, CA 92583

1/1/2008

PATIOStd2008.vsd

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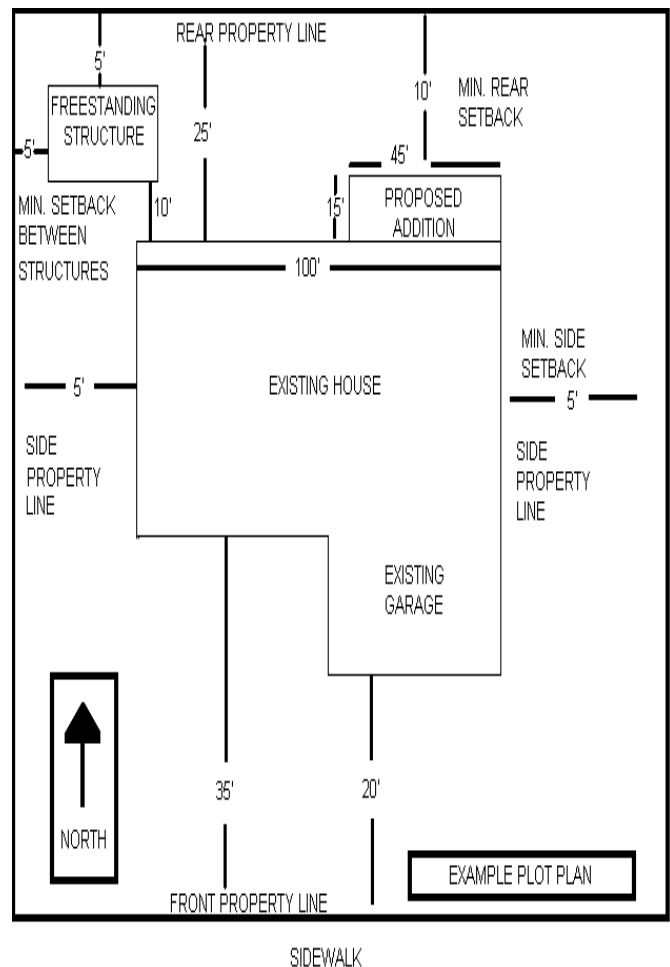


BUILDING INSPECTION DEPARTMENT

595 S San Jacinto Ave
San Jacinto, CA 92583
(951)487-7330 Fax (951) 654-9896

CHECK LIST

1. Boundaries & dimension of property.
2. Names & widths of bordering streets.
3. Location and widths of alleys & paving materials if any.
4. Location & dimensions of existing & proposed Buildings, structures, parking & landscape areas.
5. Identification of the use of all existing & proposed Structures including number of stories.
6. Distances from the street property line to the nearest building or structure.
7. Distance from front property line to curb or to center line of street.
8. Distance between buildings & distance from buildings & structures to property lines.
9. Heights & types of fences and walls.
10. North arrow & scale.
11. Legal description of property, including Subdivision name & map number.
12. Show any existing survey hubs, pipes or Similar permanently installed property line identification.
13. Show & identify any easements.
14. Existing & proposed curbs, sidewalks & driveways with dimensions.
15. Show all architectural projections Including stairs, balconies, etc.





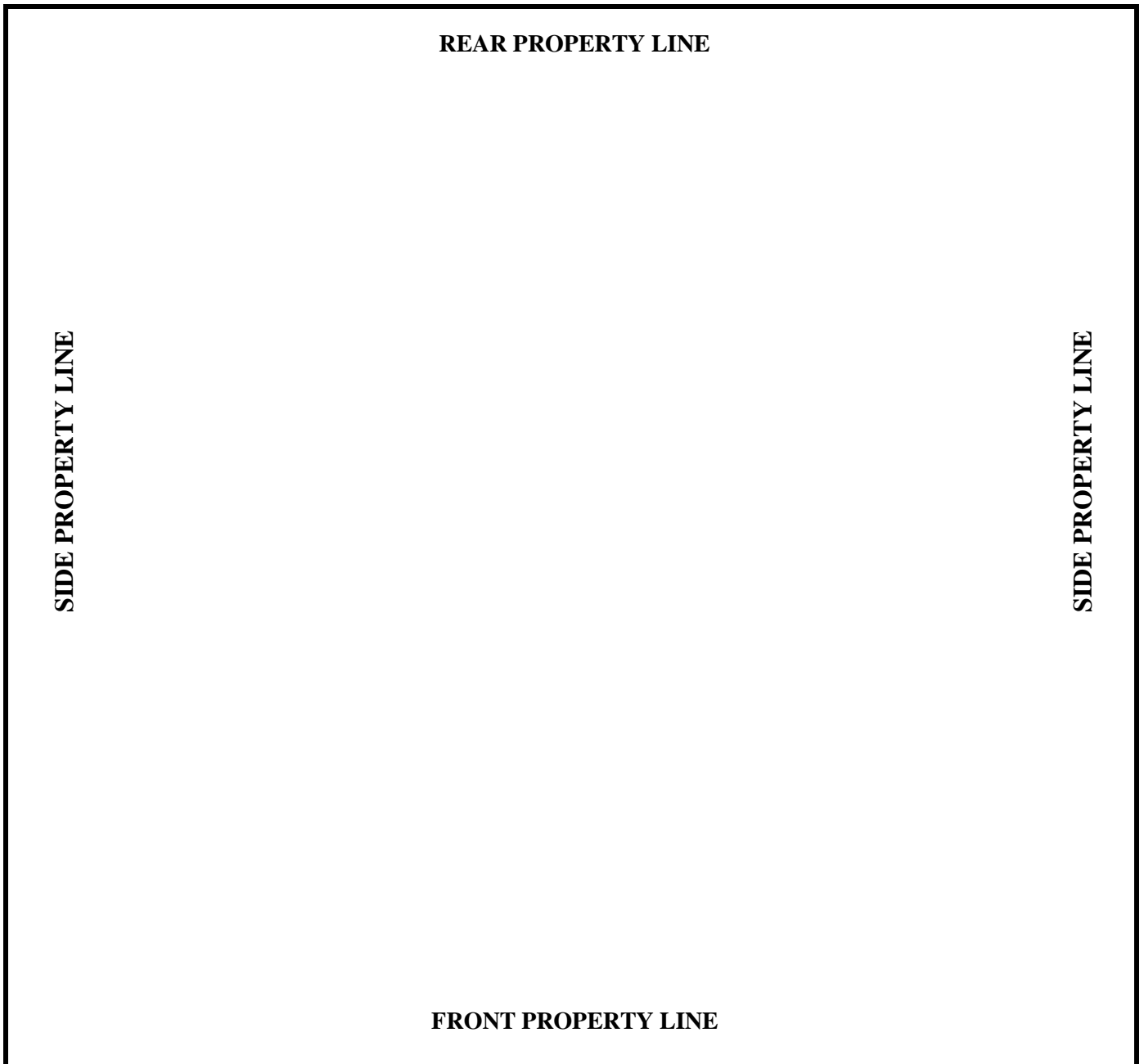
PERMIT NO. _____

PLOT PLAN

NAME: _____ PHONE: _____

SITE ADDRESS: _____

ASSESSOR'S PARCEL NUMBER: _____



PLEASE PROVIDE NORTH ARROW