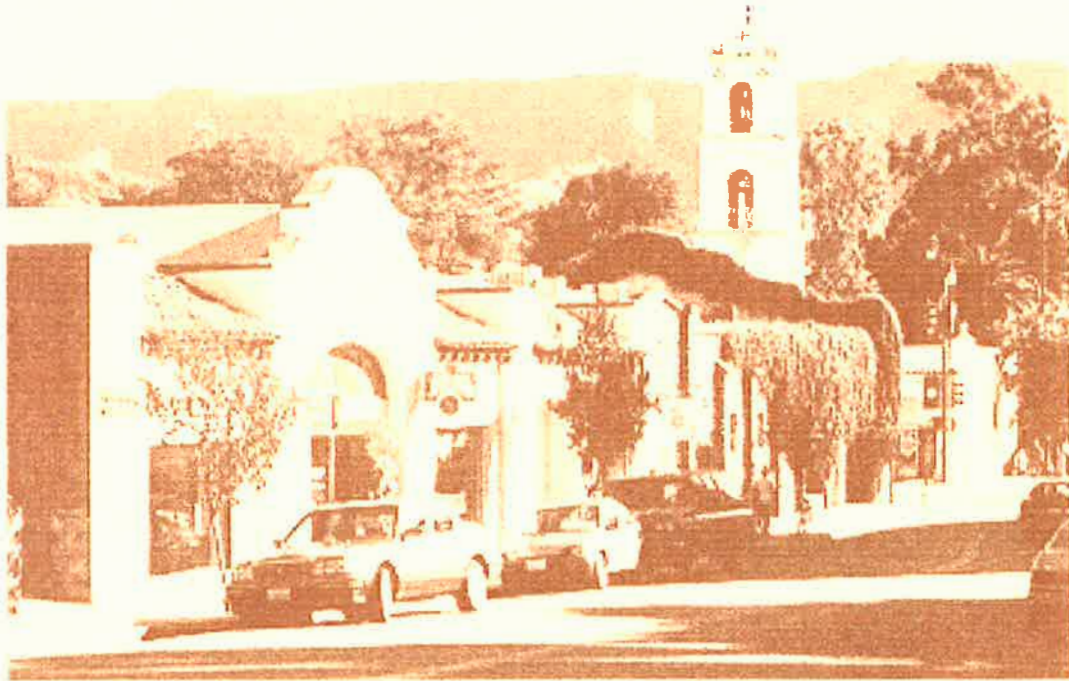


# OJAI ARCADE PLAZA



## Architectural Design Guidelines

June 12, 2001



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Prepared for:  
City of Ojai Community Development  
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## ARCADE PLAZA DESIGN CHECKLIST

This checklist to assist staff in reviewing projects, but is not meant to be used in-lieu of the Design Guidelines.

- Does the design reflect and/or compliment the Mission Revival style? Pg. 8
- Is the building oriented to the plaza with elements such as entrances, patios, awnings, windows, landscaping and paving? Pg. 10
- Are large, blank walls enhanced with landscaping, stucco relief, tile, etc.? Pg. 10
- If a new covered walkway is proposed, does it match that of the existing covered walkway system? Pg.12
- Are high quality materials and craftsmanship being proposed for trellis structures? Do they incorporate heavy timber with dark colored stains? Pg. 13
- If this is a new building, does it reflect the form, scale, and proportion (relationship of height and width) of existing adjacent buildings? Pg. 14
- If this is a new building, has the overall massing been broken up with variation in wall planes, heights and roof planes or by incorporating exterior stairways or balconies? Pg. 14-15
- Are any new roof slopes proposed, shallow and range between 3:12 and 6:12? Pg. 18
- Are Mission Revival style parapet roofs incorporated in flat roof designs and do they appear to be an integral part of the building not just tacked on? Pg. 18-19
- Has the rooftop equipment been screened so as not to be visible from the ground level? Pg. 19 Wall or window mounted HVAC units should not be used. Pg. 36
- If the design incorporates a mansard roof, is it high and deep enough to look like a true pitched roof? Pg. 19
- Refer to page 20 for recommended and discouraged roof materials.
- Does the building have a recognizable base, body, roofline, and entry? Pg. 22
- Refer to pages 23-24 for recommended and discouraged façade colors and materials.
- Refer to page 26 for recommended architectural details and accent materials.
- Is the entrance clearly identifiable? Pg. 27
- Are windows on the first floor pedestrian scale with clear glass panels that occupy 50-70% of the first floor frontage? Pg. 28
- Are windows oriented vertically (taller rather than wider) and rectangular or rectangular with a curved top? Pg. 28
- Refer to page 30 for recommended and discouraged window materials.
- Are proposed awnings made of cloth not vinyl, wood or terra cotta tile? Pg. 30
- Is the method of sign attachment to the building (i.e. bracket) integral to the overall building design? Pg. 32
- The overall length of a sign should not exceed 75% of the width of the building or space directly of above the storefront and should not dominate the building façade or project above the building roofline. Pg. 32
- Are selected sign materials high quality, low maintenance, and long lasting? Pg. 32
- Refer to pages 33-34 for specific recommendations for wall-mounted signs, hanging and projecting signs, awning signage, temporary signs, and prohibited signs.
- Are exposed pipes, vents, gutters, utility service areas (electrical panels, etc.) and flashing painted, concealed from view, or integrated into the overall building design? Pg. 36-37
- Does the design incorporate energy-efficient concepts such as natural heating/cooling, appropriate sun/wind exposure and orientation? Pg. 38
- Refer to pages 39-40 for landscaping guidelines.
- Are café table and chairs made of high quality materials? Resin and plastic should be avoided. Pg.41



## Executive Summary

Located in the heart of downtown Ojai, the Arcade Plaza is a hidden jewel. It offers shopping and dining, as well as, a place to sit and relax. With the recent investment by the Ojai Redevelopment Agency the plaza will soon be revitalized. To fully realize the benefits of this revitalization effort, many of the buildings that surround the plaza will also need to be upgraded. This document provides a clear set of guidelines to strengthen the Mission Revival architectural character of the surrounding buildings, and unify the plaza. By following this easy to use document, property owners will be given examples and ideas on how to improve their building and contribute to reinigorating the plaza area character.

These guidelines evolved through a series of meetings with members of the community and the Redevelopment Agency. The plaza buildings should compliment the existing Mission Revival architecture in the area and encourage both quiet private spaces as well as active public areas.

The first part of this document identifies document users, explains how to use it, and describes the preferred architectural style for the plaza. The second part of the document illustrates the architectural design criteria for all façade improvements and new construction. The criteria include suggestions for building form, massing, architectural elements, doors, windows, materials, signage, lighting, landscape, and furnishings. The last part of the document provides examples of possible improvements to various buildings within the plaza. To assist in reviewing a project, a simplified checklist is included in the back of this document. This checklist highlights key components of the guidelines that should be considered when reviewing renovations and new construction proposals.

The Arcade Plaza buildings not only frame the plaza but are key to creating the Mission Revival theme that will unify the plaza area. Striving for quality improvements and consistency, these guidelines will help create a welcoming environment attracting shoppers and pedestrians, and will promote a downtown full of economic vitality.



## I. Introduction

Ojai Arcade Plaza is located at the heart of downtown Ojai. The City of Ojai Redevelopment Agency plans to breathe new life into this potentially thriving public space.

Originally, the plaza was created from an alley in the early 1980's as a redevelopment project aimed at invigorating what was then a seriously blighted area. Though today's plaza is a great improvement from the previous alley, however it was never fully developed as planned in the initial redevelopment project. A number of vacant properties were never developed, temporary improvements never made permanent, and many plaza improvements that were designed in the 1980's do not meet the City's expectations for a "revitalized" Arcade Plaza.

The Redevelopment Agency has since obtained ownership of one of the larger infill parcels and a Plaza Redesign Plan and Implementation Plan was adopted in 1999. Developing Design Guidelines for plaza building facades was one of the first steps outlined in the implementation plan.

### Plaza Location

The Ojai Arcade Plaza is located between Ojai Avenue (Highway 150), Matilija Street, Signal Street, and Montgomery Street. The plaza is surrounded by the downtown business district where some local businesses back onto the plaza, and a few businesses face the plaza. There are quiet green spaces, large trees, shelter from traffic and noise, and just enough pedestrian activity to make the plaza a nice place to eat a quiet lunch or read a book. On the contrary, it is not currently a popular destination in the downtown and is not easy to find. Although the Arcade Plaza is a relaxing pedestrian space, there are significant opportunities for improvement to maintain its quiet elegance while providing added economic vitality to the downtown pedestrian core. These design guidelines for buildings surrounding the Arcade Plaza are important elements in the total revitalization process.



**A. Application Process**

As described in the Ojai Municipal Code, Title 10 - Chapter 2, Zoning Ordinance (section 10.46.010), all applications, within the guideline boundary, which include a physical alteration/construction shall be reviewed to ensure consistency with these guidelines. The Director may require that a project applicant submit design concept plans for preliminary design review before submittal of a formal application for a project deemed significant by the Director. The purpose of the preliminary consultation is to advise the project applicant of applicable design guidelines (such as this document), design review policies, and other specific design criteria that may affect the project's design.

The Director, the Planning Commission, and the Redevelopment Commission (as appropriate) will use its discretion in applying specific guidelines in this manual to a particular project. Each guideline may not apply equally to every project. If a project is consistent with some of the guidelines and inconsistent with others, it will be up to the Director, the Planning Commission, and the Redevelopment Commission (as appropriate) to decide if the project is consistent with the overall intent of this document.

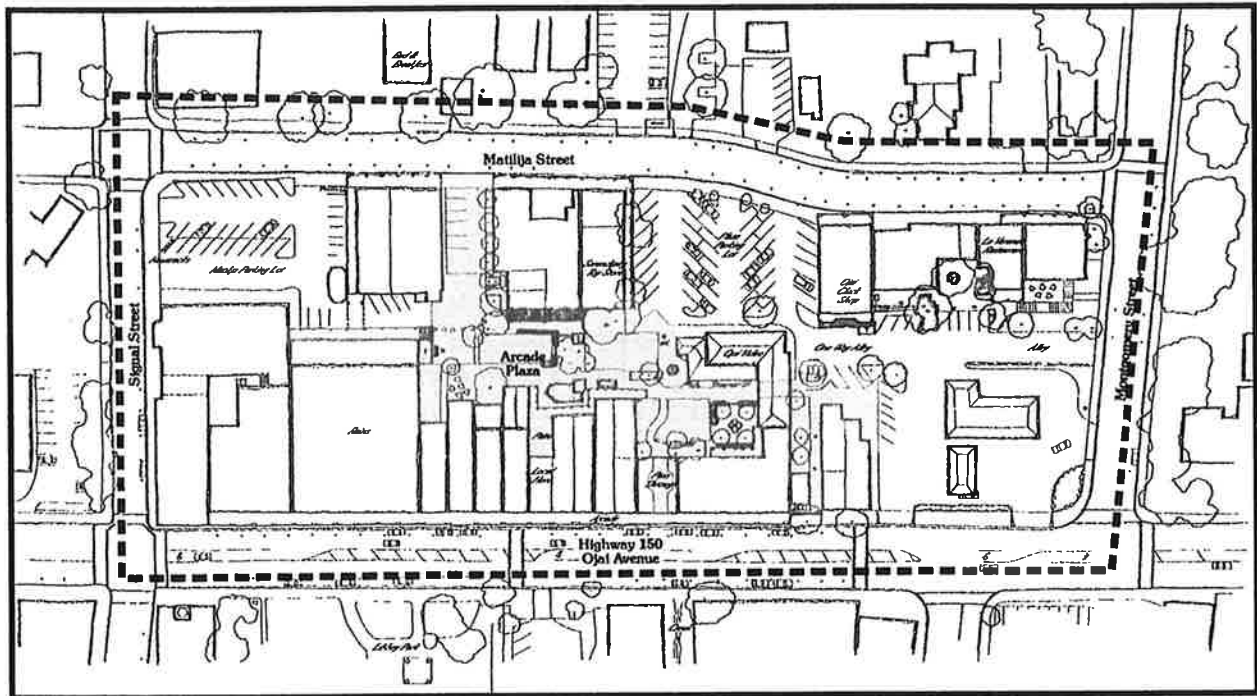
These guidelines are to be used for property within the designated "guideline boundary" as described below. Projects subject to the design review by the Planning Commission include:

- Projects applying for a building permit; and
- Any construction (with or without a building permit) that affects the exterior elevation of an existing structure.



### 1. Guideline Boundary

These guidelines pertain to the block between Ojai Avenue (Highway 150), Matilija Street, Signal Street, and Montgomery Street. Though the primary focus of these guidelines is to enhance the buildings that face into the Arcade Plaza, they have been written to also include buildings that face onto parking lots and adjacent streets. All new development on properties immediately adjacent to the plaza are encouraged to embrace the Mission Revival Style.



Ojai Plaza Arcade and Guideline Boundary

## B. Purpose for the Guidelines

The purpose of the guidelines is to give clear and concise direction for the renovation of existing buildings and construction of new buildings. The intent is to create a welcoming environment that attracts shoppers and pedestrians. These guidelines offer simple solutions and recommendations to improve commercial buildings in a way that increases foot traffic and creates a unified architectural theme. The guidelines are intended to guide the creative and artistic approach of the designer rather than to stifle creativity.

### 1. Arcade Plaza Vision

During the public outreach process for the Arcade Plaza Redesign, the community clearly defined a “vision” for the Arcade Plaza. Below is a summary of that vision:

*The plaza will act as the “Town Square” or “heart” of the downtown and enhance the small town experience of Ojai. As a tranquil yet lively space the plaza will be oriented to all age groups and provide a comfortable place for the community to interact and enjoy. Additionally, the plaza must be designed to support a healthy downtown business climate by creating a place where we can satisfy the human need to be in a pleasant environment.*

The buildings that frame and surround the plaza play a big role in creating the desired character and realizing this vision. By enhancing these buildings, the plaza will take on an improved image, that will help create economic vitality for the plaza business.

### 2. Design Guideline Goals:

- Identify the architectural components, character, building forms, details, and other elements that should be enhanced during future improvements.
- Create a clear, concise and user-friendly document that is easy to administer.
- Provide basic design recommendations for property in the plaza area, promoting design creativity and variation while insuring consistency in building scale, style, and pedestrian orientation.
- Enhance community activity and the pride of ownership in the plaza area.
- Provide clear descriptions of architectural treatments that support the desired architectural character, yet allow for creative and whimsical artistic features.

**3. Who will use these guidelines?**

**Property Owners:**

The guidelines will provide property owners with a clear and simple design review process. This document will work in conjunction with the General Plan, Zoning, and Building codes for the City of Ojai and provide a clear set of expectations and responsibilities for property owners.

**Design Professionals:**

The guidelines will provide a clear and graphic direction for renovation and new construction. They will serve as an information tool that can provide a link between the property Owner and the Designer. They will clarify the desired architectural style for the plaza buildings and give ingredients of that style.

**City Staff:**

The guidelines are to be administered by city staff with simplicity and clarity in assisting the general public with project processing. The guidelines will serve as the basis for evaluating proposals for compatibility and compliance. City staff will also use these guidelines when working with the Redevelopment Commission and Agency, the Planning Commission, and the City Council.

**Review Agencies:**

The guidelines will provide the Redevelopment Commission and Agency, the Planning Commission, the City Council, and other reviewing agencies with a basis for evaluating proposals for compatibility and compliance.



### C. Architectural Character

The Ojai Avenue arcade and pergola exemplify the Mission Revival architectural style that is desired for the Arcade Plaza Area. This style, common throughout downtown Ojai, originated in the early eighteenth century. Inspired by the missions built by the Franciscans in California and the Southwest, Mission Revival became popular in the late 1800's. Reacting to the popularity of the Colonial Revival style in the northeastern states, California architects began embracing the historic mission architecture. With the 1893 opening of the Colombian Exposition in Chicago the Mission Revival style began to flourish.

Authentic Mission architecture was kept simple in design and ornamentation due to a lack of skilled labor and a limited access to building materials. The California missions were typically a simple design constructed of adobe bricks. The walls were thick and the arches were low to support their own weight while long eaves were constructed to protect the adobe walls. Rooflines typically were formed at a low pitch or with shaped parapets. Looking at the origin of the Mission Revival architectural style, helps us understand the basic ingredients of this style predominately found in downtown Ojai.

Architecture surrounding the plaza should be both unified with the downtown Ojai Mission Revival architectural style and support the design of the plaza itself. Plaza buildings should incorporate innovative, artistic, and whimsical elements to intrigue the visitor yet embrace the Mission Revival style. Through repetition of Mission revival architectural elements, the plaza area will be unified with a consistent theme.

Architectural features and elements in the plaza area should be "non-standard" where feasible, reflecting Ojai's natural environment and unique character. Opportunities should be given to involve artists and other professional designers in the design of features such as: signs, lighting fixtures, benches, wall-fountains, etc.

*Design Features Typical of Mission Revival Style Architecture*

- Symmetrical facades with a simple square or rectangular plan.
- Asymmetrical facades commonly found with square or rectangular plans and occasionally with rambling compound plans
- Relatively smooth stucco (cement plaster) walls with hand-troweled finish
- Arched door and window openings
- Scalloped, parapeted gable ends
- Low pitched red clay tile roofs
- Facades often extend upward to form an arched, S-curved or angled parapet
- Deep overhanging eaves with exposed rafter tails, beams, and corbels
- Quatrefoil windows
- Sparse ornamentation, usually terra cotta or concrete in Islamic or Sullivanesque patterns
- Bell towers
- Porch roofs supported by large square piers
- Deep door and window reveals to give appearance of thick walls
- Ornamental iron grille work on windows, railings, or for decoration
- Exterior stairs and balconies
- Multi-paned windows
- Heavy timber with dark stain
- Decorative tile accents



Mission Revival elements in downtown Ojai

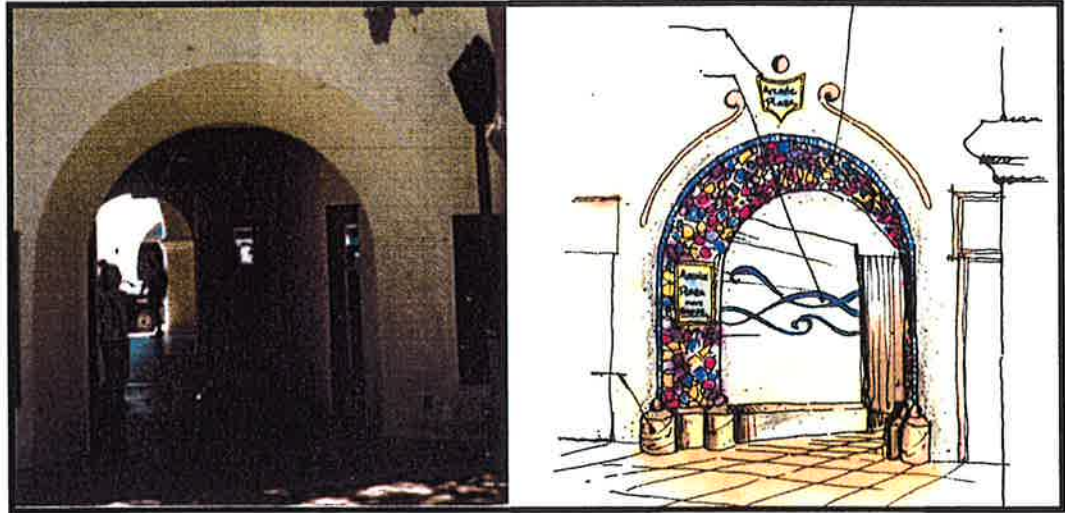




## II. Architectural Design Criteria

### A. Site Planning and Design

Site planning refers to the arrangement of buildings and parking areas, the size and location of pedestrian spaces and landscaping, and how these features relate to one another.



*Pedestrian linkages to the plaza should be enhanced.*

- Pedestrian linkages to and from the plaza should be enhanced with signage, landscaping, public art, and/or special paving.
- Focal points should be developed to create a definite sense of identification and draw people through the plaza. Landscape, fountains, artwork, textured pavement, changes in pavement levels, and building features may be used to create focal points.



*A fountain and textured paving creates a focal point.*



*Focal points draw people into the plaza.*



*Outdoor seating adds atmosphere.*

- New development / renovations / additions are encouraged to incorporate public art consistent with the City's one percent public art program.
- Each property is encouraged to have its own identity, yet integrate with adjacent properties.
- Where possible, buildings should be oriented to create and define usable outdoor spaces. These spaces should have a variety of microclimates, such as shady, sunny, warm, cool, open, and private.
- Buildings abutting the arcade plaza are encouraged to:
  - Orient business toward plaza. This can be done with entrances, patios, awnings, windows, landscaping, and paving.
  - Enhance large, blank walls with murals, landscaping, stucco relief, tile, etc.
  - Provide outdoor seating and tables to add to the pedestrian atmosphere in the plaza.
- Entries to buildings should be individualized, be clearly identifiable, integrated with adjacent landscaping.
- Pedestrian walks should provide logical linkages to surrounding sidewalks, connections through the parking lots, and to adjoining uses.
- Loading, trash, and storage areas should be located away from seating areas and screened from public view and designed to fit with the plaza's Mission Revival style architecture. (See Section G - Utilitarian Aspects of the Building.) (Refer to Approved Plaza Master Plan for trash and recycling storage areas.)

## B. Semi-Private Spaces

An important part of building design is the treatment of semi-private “transitional” spaces. These spaces link the outdoor public spaces to the indoor private spaces. The features addressed in this section include stairways, balconies, patios, courtyards, trellises, colonnades, and low “half” walls. These features add human scale and variety to buildings.



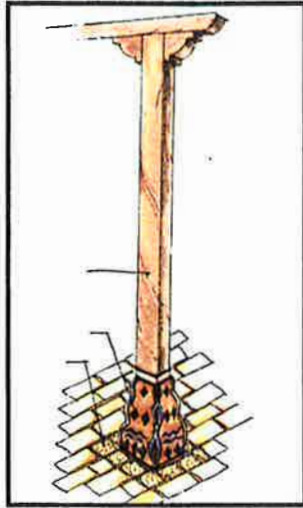
*Stairway design should be integrated with the building's overall character and design.*



*Semi-private patios are encouraged.*

- Architectural features that create semi-private, spaces between buildings and streets, such as porches, balconies, patios, staircases and courtyards are encouraged. These features should be fully integrated into the overall design to avoid the appearance of being an afterthought or “tacked on”.
- Stairway location and design should complement building form and massing.
- Pre-fabricated metal stairs are discouraged.
- Stair treads (steps) should be covered with non-slip tile, stone or other low maintenance materials that compliment the building’s overall design.
- Patios and courtyards with outdoor seating are encouraged. Potted plants, trellis structures, and sculptures can be used to define these spaces.
- Covered walkways provide a visual, as well as protective linkage between uses. These walkways may occur at building street frontages, between buildings, from buildings to parking lots, and within a parking lot.
- New covered walkways should have a similar design made with similar materials as the existing covered walkways.
- Enclosed walkways or “pass-throughs” should incorporate elements that draw people into the plaza. This can be done with paving, wall treatments, lighting, and public art.
- Enclosed walkways provide an opportunity for pedestrian scale wall treatments such as murals, tile treatments, sculpture, alcoves, or vines.





Artistic column bases can be used to add character and a sense of stability.



Existing covered walkway.



Example of an arcade.

### 1. Arcades, Covered-walkways, and Trellises

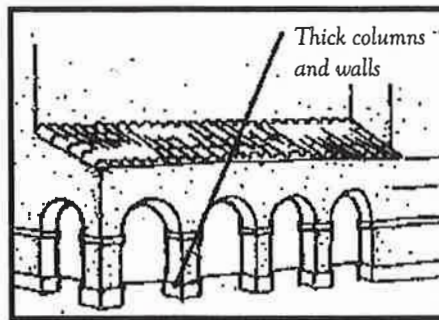
The existing Ojai Avenue arcades and covered-walkways have been identified as vital and functional architectural components. In the plaza area there exists three types: 1) the Ojai Avenue arcade, 2) the terra cotta tile roofed covered-walkways in the interior plaza, and 3) attached arcades integrated into buildings (along Matilija Street and parking lot). These guidelines are for both building new or revitalizing existing arcades and covered-walkways within the plaza area. Any new proposed covered walkways should match the existing design. An exception to this would be when an artistic column base is incorporated.

Arcades and covered-walkways consist of three basic elements:

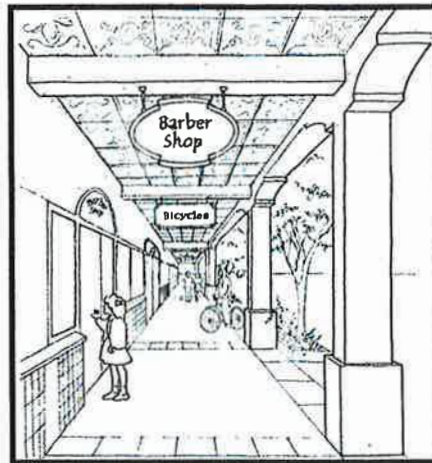
- Columns
- The detail and articulation corner (top of column)
- The underside of the arcade/covered-walkways.

#### *Arcade / Covered-walkway Columns*

- Arcades should have a sufficient wall column thickness emphasizing a sense of strength, balance, and traditional masonry proportions. This proportion and massing is essential to the Mission Revival Architectural style.
- Columns can vary slightly in size, frequency, material, and proportion, but the support itself should appear solid and provide a sense of stability.
- Simple pipe or square tubing, although functional, is not consistent with the Mission Revival Architectural style. These types of support columns should be avoided.
- The base of columns should have a distinct material application or relief treatment. This application should extend a minimum of 12" above the base.
- The top of the column should also be treated as a terminus or transition to the horizontal support.



Arcades attached to buildings should possess traditional masonry proportions.



Column bases should be large enough to provide a sense of stability.



Trellis used along blank wall to accent entry and add interesting shade and shadow detail

#### Underside of Arcade

- When selecting materials and determining the level of detail to apply on this surface, priority must be given to visibility. The underside of the arcade/covered-walkway will be very visible from a pedestrian point of view. Avoid unfinished looking treatments.
- The appropriate treatment of this surface will enhance the effectiveness of signage.
- Proper attachments for signage should be utilized at every application. Screw in “J” or “eye” hooks are not allowed.
- Locate and select lighting that does not create glare or an unsafe situation for pedestrians. Low level, upward lighting, or soffit lighting, is more appropriate than “spot” or “down lighting”. Lighting that is directly focused on signage may be appropriate if carefully applied and controlled.

#### Trellises

- The use of trellises along blank walls are encouraged. This will add interesting shade and shadows detail and create an opportunity for climbing vines on bare walls.
- Heavy timber with dark colored stains should be used for trellis structures.
- High quality craftsmanship should be used on trellis structures.
- Trellises can be used to enclose trash and storage areas.
- Trellis structures can be used to shelter parking areas, outdoor seating areas or accent entries.



### C. Building Form and Massing

Building forms and facades have an impact on the cohesiveness and comfort of a space. It is particularly important in a plaza which is surrounded by buildings such as the Arcade Plaza, that the form and massing of these buildings be proportionate to attract pedestrian activity. Where infill buildings are being constructed, or existing structures upgraded, design principals including continuity, proportion, mass, scale and rhythm will help create an aesthetically pleasing façade and plaza.

#### 1. Continuity

Continuity among individual buildings in the plaza area will contribute to a unifying identity. Repeating form and massing elements on building facades, i.e. wall planes and modulation, window and door arrangements, entries, transoms, awnings and parapet treatments, will help create continuity with the plaza area.

- New buildings should reflect the existing form, scale, and proportion (relationship of height and width) of adjacent buildings.

#### 2. Building Mass

Mass is defined as a three-dimensional form such as a cube, box, cylinder, or pyramid. The way the forms are sized and combined directly relates to the way buildings feel to a pedestrian. Voids or open spaces in the forms can change their appearance and make the building more interesting and less imposing.



*Vertical and horizontal articulation reduces a building's apparent mass.*

- Changes in vertical planes break up a box-like appearance. Vertical elements such as pilasters help create “bays” to give the appearance of several smaller buildings.
- Massing design may include:
  - Variation in the wall plane (project and recess)
  - Variation in wall height
  - Roofs located at different levels
  - Exterior stairways
  - Balconies



*Balconies on upper floors are encouraged and help to break up large massing.*

- Architectural elements, materials, and colors can emphasize or de-emphasize a building mass.
- Upper floors may be appropriate to accommodate balconies, seating and other architectural treatments.
- Multistory buildings should incorporate some one-story elements to “soften” the buildings overall mass.
- Massing of columns, walls, parapets, and window openings should reflect permanence by emphasizing thickness and mass.
- Projections and recesses are encouraged to add texture and differentiation between buildings. These elements could include recessed storefronts that are large enough to accommodate seating along a sidewalk. Entry portals proportional to the buildings with columns and a detailed roof or balcony also add texture.

### 3. Scale

Scale is the proportion of one object to another. “Human” or “intimate” scale incorporates building and landscape elements that are modest in size. “Monumental” scale incorporates large or grand building elements. Buildings within the plaza area should incorporate human scale elements.

- Architectural details that relate to human scale such as arches, trellises, or awnings should be utilized.
- Articulated storefronts with carefully arranged doors, windows, arches, trellises or awnings, rather than blank walls, should face onto the plaza.

### 4. Rhythm

Rhythm describes the relationship of building components, as well as the relationship of individual buildings to one another.

- Rhythms can be the simple repetition of one or more architectural details.
- Rhythm may be expressed by changing materials or color.
- Rhythm may be expressed by using elements such as columns and windows.



*Example of windows establishing rhythm.*

### 5. Proportion

The ratio of one dimension to another, such as the width of a building to its height defines its proportion. Exaggerated proportions can create awkward buildings.

- Proportions that have historically been related to the selected architectural style, Mission Revival should be utilized.

### 6. Balance

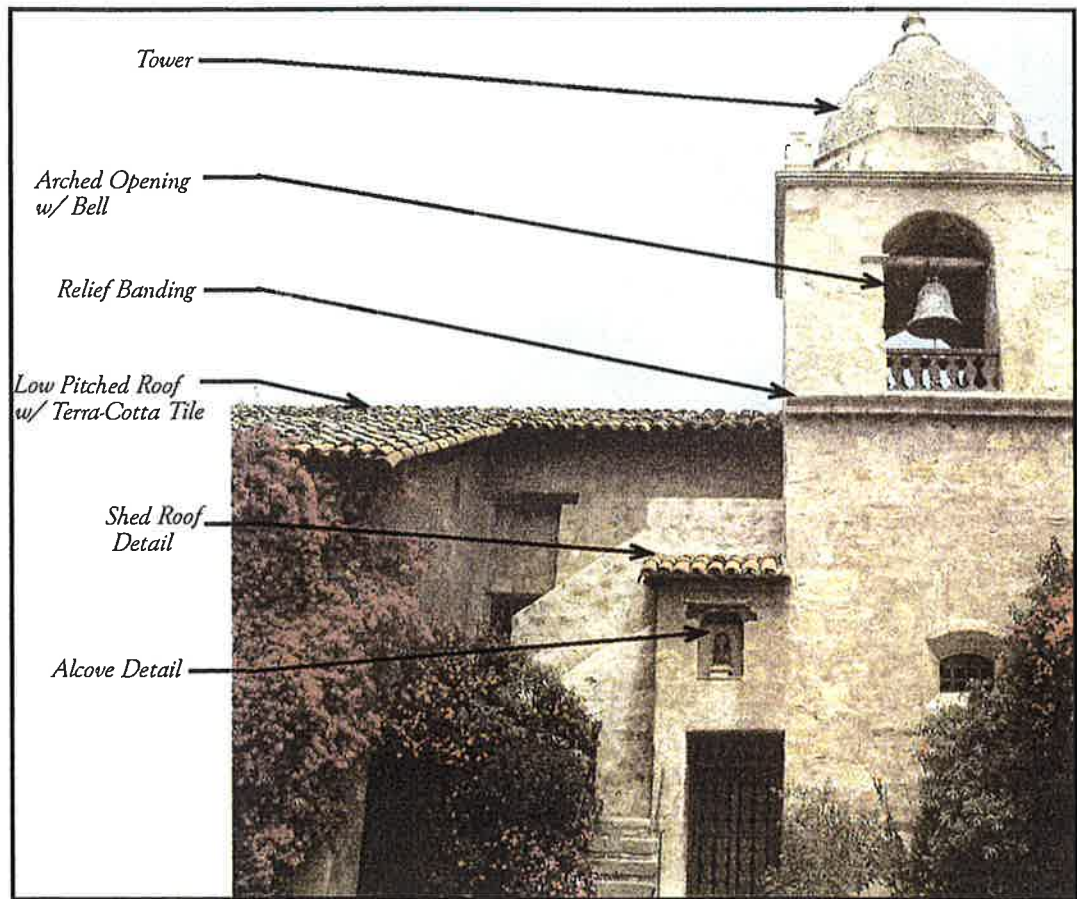
The visual equality between elements describes its balance. Harmonious visual balance is important regardless if building elements are symmetrical or asymmetrical.



**D. Building Elements**

To a large degree, the architectural style of a project is dictated by the building elements and architectural details. This includes the colors, materials, architectural features, lighting, roof forms, and signs. Architectural elements should be complimentary and work well together to create a uniform project identity. In addition, building forms and elements should be designed to discourage public access to roof structures.

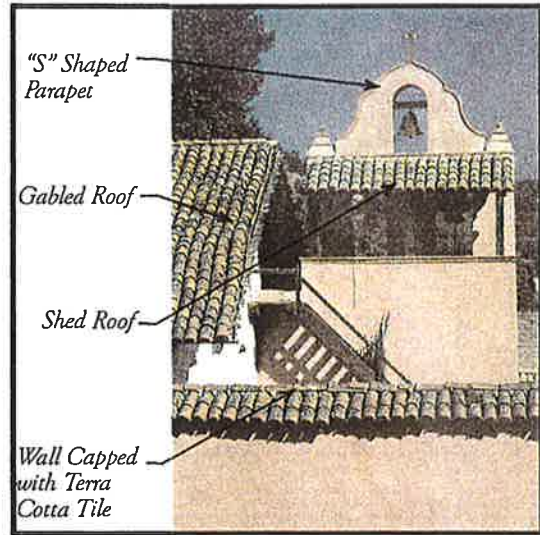
The following guidelines address materials as they relate to roofs, walls and facades, windows, doors and other related features. Maintenance, vandal resistance, long and short term costs, functionality, and appearance should all be taken into consideration during the design process.



*Building elements add interest to building facades.*

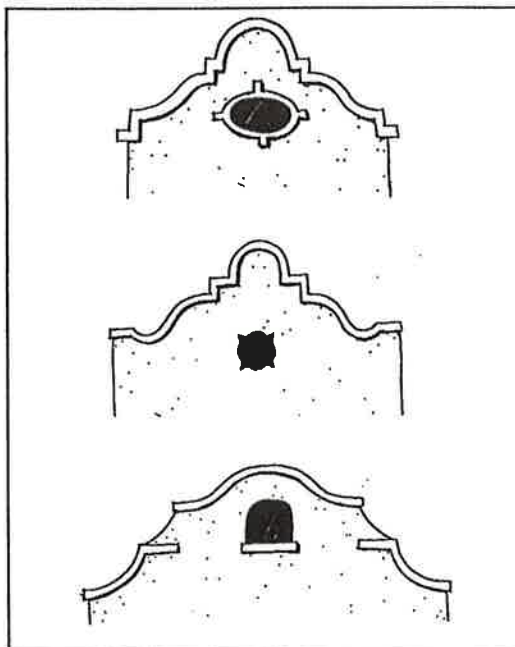
1. Roof Forms and Materials

One of the most important factors in defining a building's overall character is the roof design. This includes roof shape, form, slope, material, texture and color. To ensure consistent architectural quality throughout the Ojai plaza, building roof treatment should be representative of the design and scale of the balance of the building. The following roof design guidelines apply to all structures in the project area.



Varied roof forms add visual interest to buildings.

- Slopes of pitched roofs should be shallow and range between 3:12 and 6:12. Steeply pitched roofs greater than 6:12 are strongly discouraged.
- Gabled, hipped (including pyramidal) and shed roofs are encouraged.
- Parapets are encouraged on flat roofs. Mission Revival style incorporates parapets with "S" shaped forms.
- Decorative chimney forms and cupolas are encouraged.



Parapet roof examples.



Decorative chimney form.

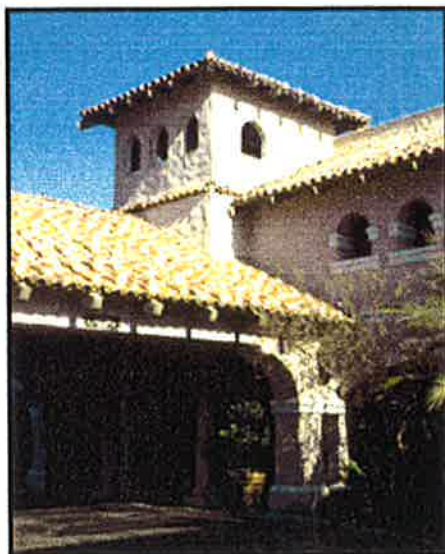




*All visible sides of roof forms should have a finished look.*



*Exposed rafter tails are encouraged.*



*Mission style tower elements are encouraged.*

- Roofing that is visible from upper stories should be aesthetically pleasing.
- Roof parapets should not appear “tacked on” and should convey the same feeling of permanence as the balance of the building. The material used on the “cap” and visible sides of roof parapets should be detailed and finished in the same manner as the “front” to ensure overall architectural integrity.
- Roof parapets should be well-detailed, three-dimensional, and of substantial size to complement a building.
- Continuous mansard roofs are discouraged.
- Exposed structural elements (beams, trusses, frames, rafter “tails”, etc.) are appropriate roof overhang details.
- Exposed rafter “tails” should not extend beyond the roof overhangs.
- Deep roof overhangs are encouraged especially when used in arcades, verandas or where they’re specifically used to enhance passive solar design.
- Tower elements with roof forms that reflect the Mission style are encouraged.
- Barrel tile caps at roof hips and ridges are encouraged.
- Rooftop equipment should be screened and not visible from ground level at any distance. Buildings with flat or low pitched roofs should incorporate parapets, pitched facades, or architectural elements designed to screen roof mounted mechanical equipment and to be architecturally compatible with the design of the building facade.
- Mansard roofs should have a roof pitch that is high and deep enough to look like a true pitched roof.



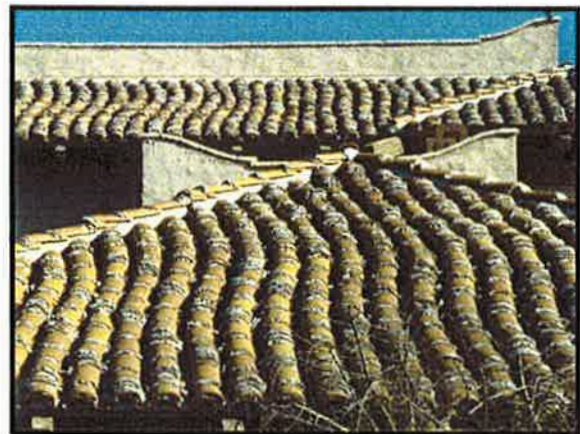
Recommended Roof Materials

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- Clay or integrally colored concrete roof tiles.
- “Mission” or “Barrel” shaped roof tiles.
- Roof tiles can be grouted or ungrouted.
- “Terra Cotta” and other red/earth tone roof tiles.
- All ridge and hip caps should coordinate with field tiles.
- Visible portions of “built up” or other flat-roof materials should be colored or covered with aggregate that is compatible with the color and design of adjacent roofing and façade materials.
- Roof materials and colors are important aspects of the overall building design. Visible pitched roofs should use terra cotta colored tiles.



*Grouted terra cotta tile roof*



*Barrel shaped terra cotta tile roof.*

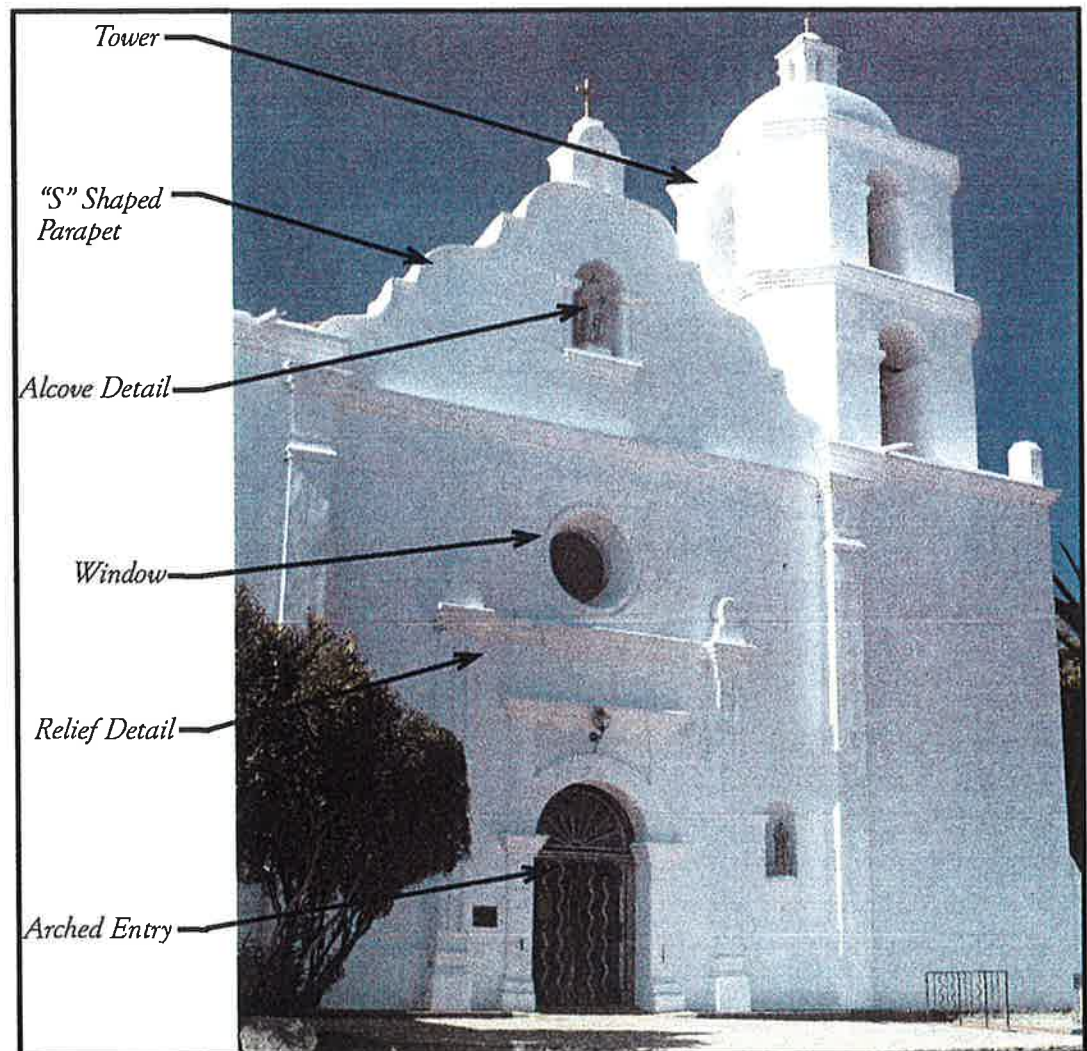
Roof Materials That Are Discouraged

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- Highly reflective or brightly colored materials (high gloss tile, unpainted metal flashing)
- Low-profile composition roof tile, wood and/or hardboard, or synthetic shingles and shakes
- Simulated clay tile roofs (pressed metal roofing)
- Corrugated fiberglass or metal (“tin”) panel roofing
- S-tiles should not be used.

## 2. Walls and Facades

As is the case with building roofs, the design and materials used for walls and facades play an important role in determining a building's overall character. Buildings of large size should be designed to avoid box-like appearance with "blank" walls. Vertical and horizontal articulation of a building's facade help provide visual interest. Use relief molding forms, color, or special materials to accentuate the building base. Architectural details should be used to enhance the buildings and adjacent pedestrian spaces by adding color, shadows, and interesting forms. The following guidelines will give examples of architectural details and forms that can be incorporated on new buildings and/or existing building renovations.



Mission Revival style elements.



- Large bare walls should be articulated with varied reveal and relief patterns such as molding, texture changes, and architectural details. These measures create distinct shadow patterns resulting in the increased perception of depth and variety. Wall surfaces should not exceed approximately 250 square feet or continuous runs greater than approximately 30' without some form of articulation as described above.
- The articulation and material use on a building façade should be appropriate to the Mission style.
- Exterior walls/facades, especially at ground level, should include windows, trellises/arcades, roof overhangs, reveals, wainscots, varied materials and other architectural elements. This articulation contributes to a building's character, provides visual diversity, and enhances pedestrian scale.



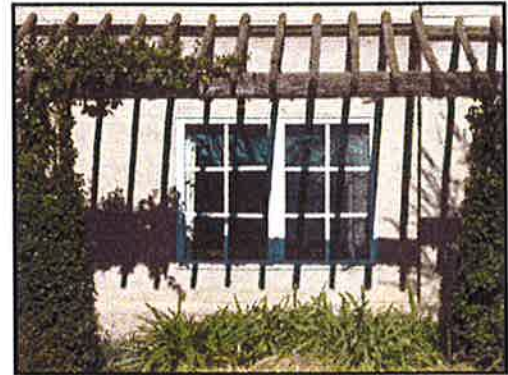
*Wall relief elements and wall fountains are encouraged.*



*Balconies help add interest to a facade.*

- Large “Blank” walls are discouraged. See architectural details and accents.
- Articulation/detailing of exterior walls at ground level should be integrated with landscape features (trees, plants, walls, trellises and unique land forms) to ensure appropriate transition from ground to wall plane.
- Building base (also called bulkhead or wainscot), which use varied texture and/or color with terra cotta or glazed tile accents are encouraged at ground level areas and gathering nodes.
- Wall/façade elements should express building function, structure and scale and should illustrate a fully integrated design.
- Smooth and Spanish Mission styled stucco surfaces with tile accents are encouraged.
- Building facades and walls should have subdued medium to light colors with darker, richer and brighter colors used as accents or special features.
- Each building should have a recognizable base, body, roof line, and entry.
- Varying materials between base and body of a building can break long wall planes.

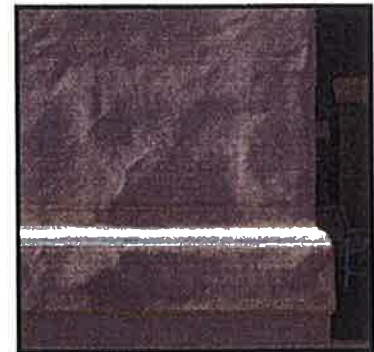
- The material palette for building in the plaza should reflect the materials commonly found and used in the region including those used in the area's historically significant buildings. Although the selected building materials will play a large part in establishing a design character, the appropriate architectural detailing of these materials will ensure that the plaza has a feeling of quality, permanence and timelessness.
- Materials should also compliment the natural landscaping and the Mission Revival architecture in the area. Natural materials such as stone, terra cotta tiles, boulders, and wood should be used throughout the plaza. Colorful tile, ornamental glass, stucco, and wrought iron detailing should be use to accent areas and bring color to the design.



*Trellis structures add shadow and interest to building facades.*

#### Recommended Façade Colors and Materials

- Cement plaster or synthetic plaster (EIFS) in medium to light muted earth toned colors.
- Glazed or unglazed tile used as accents on a building's base, walls and columns are encouraged.
- Artistic elements and accents such as mosaic are encouraged.
- Stone or simulated stone (i.e., river rock) used as accents are encouraged.
- Cast and precast concrete with a texture/finish appropriate to the building's design. This material is acceptable on building bases and columns/pilasters. Concrete used as a finish material may be used if painted or tinted to an approved color.
- Terrazzo and architectural terra cotta used on building columns, bases or as accents.
- Heavy timber construction used in trellises, roof overhangs, balconies and other architectural elements. All wood materials must be properly detailed and finished (preferably stained) and should not be left in a "raw" unfinished state.
- Foam details may be allowed if it is applied above 6' high and consistent with the Mission Revival style.



*Simple accent details on smooth stucco walls are recommended.*

- The creative blend of traditional historic materials and today's technologically advanced building materials/systems is encouraged.
- Buildings should keep a balanced color palette between base colors and "brighter" or "darker" accent colors on each building.
- Colors should be used that reduce sun glare on wall planes by using flatter, muted colors, i.e. avoiding bright whites.
- Door and window trims, awnings, and wall tiles provide opportunity for color that adds interest and texture to storefronts or building bases. Color of trim should be coordinated with the wall colors.
- Colors should be coordinated with other adjacent buildings.
- Colors should compliment natural / unpainted materials used on the facades such as pressure treated wood, terra cotta, and tile.
- Large areas of intense light color should be avoided. While more subdued colors usually work best for overall building color, darker accent colors are appropriate for trim, windows, doors, and key architectural elements.



*Medium to light earth-toned colors are most suitable for the project.*

#### Façade Colors and Materials That Are Discouraged

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- Highly reflective or brightly colored materials, except as accents
- Concrete block (smooth, split-face, etc.)
- Brick masonry
- Wood or simulated shingles or shakes
- Corrugated fiberglass or metal ("tin") panels
- Simulated stone or masonry
- Vinyl or sheet metal siding
- Plywood, hardboard or dimensional lumber
- Wood and composite horizontal or vertical siding
- Bright whites and other colors that will create a glare.





*Articulate all sides of buildings.*



*Alcoves are common Mission Revival elements.*



*Balconies with decorative supports are encouraged.*

### 3. Sides and Backs of Buildings

Consistent architectural design and detailing should be provided on all sides of a building to help eliminate obvious “side” and “back” of building appearances.

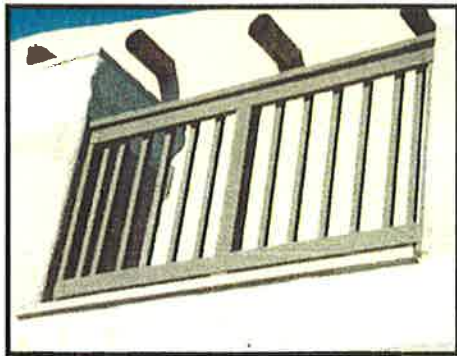
The facades next to the vacant parcels currently have blank walls. If the City eventually purchases the vacant parcels, these blank walls will be incorporated into new facades and enhanced with architectural details, windows, and doors. Until then, blank walls should be enhanced with temporary treatments like landscaping and paint treatments

- Murals, trellises, or vines and espaliers should be placed on large expanses of walls at the rear or sides of buildings to soften and create interest.
- Wall-mounted lighting should be provided between buildings to ensure security. (See Lighting.)

### 4. Architectural Details and Accents

Accents and architectural details are features on a building that can provide visual interest, variety, and quality in appearance.

- Alcoves or niches are common Mission Revival elements and are encouraged.
- Flashing details, gutters, downspouts, and vents should be designed to complement the building’s overall design.
- Decorative wrought iron should be utilized at railings, gates, etc. and should be painted to coordinate with any wrought iron light fixtures or other features. Rich, dark to black colors are recommended.



Wood railing



Iron railing



Wall fountain with colorful tile.



Arched opening



Wrought iron grill work over window



Roof overhang at entry



Wall planter

- All railing including stairway handrails, guardrails and decorative railing should be constructed of wood or metal and should be stained or painted to coordinate with other building features/elements.
- Subtle artistic and unique accents are encouraged.



Subtle artistic and unique accents are encouraged.

Recommended Architectural Detail and Accent Materials

- Glazed or unglazed ceramic or clay tile in rich colors at window/door surrounds, address identification placards, bulkheads, architectural lighting, seating, and other details
- Terra cotta tile
- Wood canopies and trellises
- Stained wood in dark color
- Wrought iron (black or dark brown) ornamental iron work at windows, railings, etc.
- Stone or river rock (local stone preferred)
- Artist designed elements



## 5. Entries and Doorways

It is important that the main entrance to a building is clearly identifiable. It is the primary point of arrival and should be treated as such.

Designs should incorporate one or more of the following methods in the entrance design.

- A change in wall plane or wall articulations around the door will help accent the entry.
- Placement of art or decorative detailing at the entry.
- A projecting element above the entrance.
- A change in material or detailing.
- Architectural elements such as flanked columns, archways, or decorative fixtures.
  - Recessed doors, archways, or cased openings.
  - A portico or formal porch projecting from or set into the surface.
  - Changes in the roofline, a tower, or a break in the surface to the subject wall.
  - Upper floor entries should have their own distinct design that compliments the main building frontage.
  - When possible, awnings, tiled roof canopies, or trellises accenting the entries should be incorporated into the building façade.

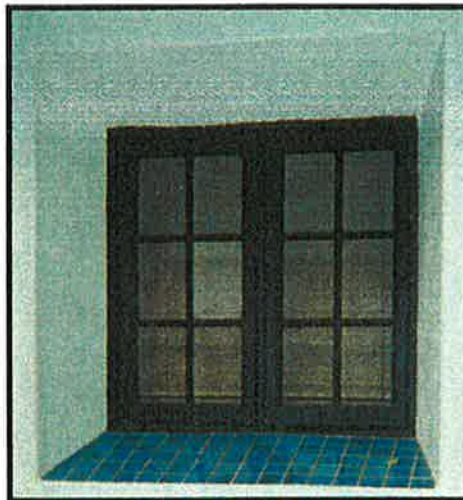


*Columns, signage and building form helps accent entry.*





*Storefront windows located on the first floor distinguish it as a publicly oriented space.*



*Recessed multi-paned operable windows are encouraged.*



*Example of Mission Revival arched window / openings.*

## 6. Windows, Doors, and Storefronts

- At the street level, windows should have pedestrian scale and detail.
- Clear glass is recommended facing onto plaza walkways to create interesting interior shop views for pedestrians. Heat gain can be limited by implementing awnings, recessed storefronts, polarized glass, or professionally-applied UV film.
- Windows on upper floors should reinforce the typical rhythm of upper story windows found on traditional Mission style buildings.
- The first floor of commercial buildings should contain storefront windows to help distinguish it as a more publicly oriented space. Storefront windows, when combined with entry doors, should occupy 50% to 70% of a first-floor frontage.
- Windows may be accented with wall planters or window boxes at their base.
- Operable windows are encouraged to provide natural air circulation and allow interchange between indoor and outdoor spaces.
- Windows should be rectangular or have arched tops and be vertically proportioned (taller rather than wider).
- Multi-paned windows that are consistent with the Mission style and are encouraged.
- To further reinforce the sense of quality desired, windows and doors should be recessed into the wall. Windows flush with the adjacent wall plane are discouraged. All windows, including storefront window/window-wall systems should be recessed to create pronounced shadow lines.



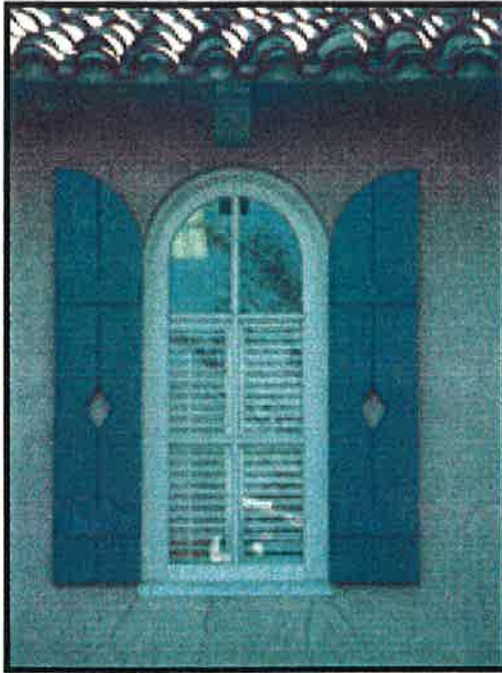
*Paint, tile, awnings should be used to articulate and accentuate openings.*



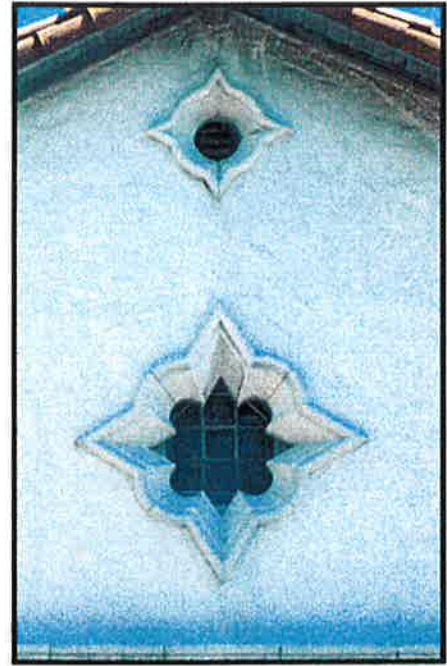
*Wood slatted awnings add color and interest to windows.*

- Openings should be articulated/accentuated with paint, tile, shutters, awnings, plant shelves/planters or other appropriate architectural features. These features and the various shadow patterns created throughout the façade add a rich visual texture to a building.
- A rhythm created by multiple window openings is common in Mission Revival architecture and is encouraged.
- Small scale square, circular and arched windows are permitted if appropriately used in conjunction with the other window and door openings on a façade as they relate to the building's design character.
- Door and window hardware should be of a high quality and should have a design, finish and color that complements the overall project character.
- Arched openings or windows are appropriate to the desired style of the Ojai Arcade plaza.
- Divide storefront windows into a series of vertical windows. Large window panes are discouraged.
- A consistent use of window style, size and related trim or accents on a building is recommended to simplify a building's elevation, ensuring a consistent character.
- Provide adequate space between windows and adjacent roofs, wall corners or other features.
- Skylights should be appropriately detailed and should relate to the overall design concept in their form, location and color.





*Arched multi-paned window.*



*Quatrefoil windows are common with Mission Revival architecture.*

#### Recommended Door and Window Construction Materials

- Though the materials are important, it is the profile and proportion (width) of the window frames that reflect the desired Mission Revival style.
- Clear or very lightly tinted window glazing
- Acceptable frame colors include off-white and medium to dark earth toned colors
- Painted, or stained, wood window sashes, frames and doors
- Canvas, wood, or terra cotta tile awnings at doors and windows in rich, medium to dark colors
- Plaster, terra cotta, stone, wood, tile, or other compatible door and window “surrounds”
- Wood casement windows are preferred, due to their more natural and substantial form
- Accent windows of leaded, etched, beveled, and colored glass consistent with the style of building.
- Authentic wood mullions should be used to divide window panes.

#### Door and Window Construction Materials That Are Discouraged

- Clear anodized/mill finished aluminum window frames
- Reflective or colored glazing, this includes black and silver
- White or “frosted” plastic skylight lenses
- Aluminum storefront type systems



*Canvas awnings help accent entries and add color to the facade.*



*Wood trellis structure acts as an awning providing shade interest to facade.*

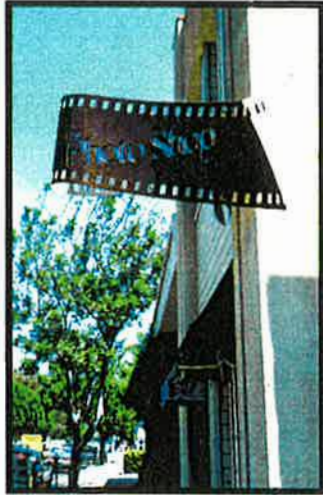


*Cloth umbrellas are encouraged.*

## 7. Awnings and Umbrellas

- Awnings add color, forms, relief, and pedestrian protection from the elements. They may also create a space for identification signage.
- Awnings, as well as signage, help to clearly demarcate building entries and help orient pedestrians.
- Awning maintenance should be in accordance with the awning manufacturer's care instructions. The life of the awning is generally not expected to exceed eight to ten years. Property owners should not propose installing awnings unless they are prepared to replace the awnings every eight to ten years.
- Awnings with imprinted signage are encouraged. Lettering style and size should be in scale with the awning and adjacent awnings subject to the existing sign ordinance. (Refer to the awning sign section, page 34)
- Awnings and umbrellas should be made of cloth (not plastic or vinyl, wood or terra cotta tile) and should be high enough so as not to block visibility of pedestrians.
- Awnings should not be wrapped around buildings in continuous bands. Awnings should only be placed on top of doors, windows, and other openings where arcades are not utilized.
- Awnings should not dominate the facade, but should be in scale with the rest of the building.
- Awnings and umbrellas should be regularly maintained and kept free from tears, fading, and stains.
- Awnings, if lighted, should be lit with the direct, architecturally interesting and appropriate fixtures such as "gooseneck" type fixtures.
- Awnings should be placed within vertical elements when the facade of a building is divided into distinct structural bays.
- Fabric and wood slatted awnings are encouraged on storefronts and windows. Awnings shapes and colors must complement the overall building design and should appear as an integral part of the building's architecture.
- Umbrellas should be one color and free of all advertising and other text.





Sign designs can reflect the type of business.



Signs at eye level height will attract pedestrians.



Hanging / projecting sign example.

### E. Signage

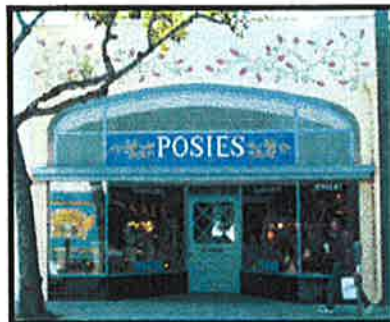
Signs are an important part of every business, but can too easily detract from the overall appearance of a storefront and the plaza area. These guidelines will promote signage that will serve a beneficial function and will be architecturally interesting to the individual storefronts, as well as the downtown plaza area. All new store signs must be consistent with the City's Sign Code, Chapter 6, and must be approved by the City.

- The method of sign attachment to the building should be integrated into the overall sign design chosen. Metal brackets (i.e. wrought iron) compliment the Mission Revival style of architecture and are encouraged.
- Signs should coordinate with the building design, materials, color, size, and placement.
- Signs should not cover up windows or important architectural features.
- Overly large signs that dominate a building façade are not permitted.
- The overall length of a sign shall not exceed 75% of the width of the building or space directly above the storefront.
- Sign variety is encouraged among different users.
- The character of each sign including the type/style, design, shape, or graphics should reflect the nature of the business and be of a high quality.
- When a large building has more than one tenant, the individual tenant signs should follow a consistent design standard and be integrated into the building architecture and design.
- No signs or advertisement should project above the peak of the roof or parapet.
- "Luminous tube" neon signs shall be prohibited.
- Signage shall be constructed of high quality, low maintenance, and long lasting materials.
- Signs shall be clear, concise, and informative.
- Creative and whimsical sign designs that add interest for the pedestrian are encouraged. Because the plaza area is primarily pedestrian space, the signs used in this area should be located and designed for pedestrians.

Listed below are guidelines for the four main types of signs encouraged in the plaza area, wall-mounted signs, temporary signs, hanging signs, and awning signs.



Wall mounted signs can be mounted to accent shadows or flush with facade.



Sign painted directly on building



Signs hanging from decorative wrought iron brackets are encouraged.

### 1. Wall-Mounted/Painted Signs

Wall-Mounted/Painted Signs can be letters or panels attached directly to the building or painted onto the building. These signs can be either smaller pedestrian oriented signs or larger auto-oriented signs.

- Signs attached directly to a building should be proportional to the wall space.
- Wall signs shall not project out from the face of the building more than 4" nor over the property line.
- Wall-mounted signs shall not obstruct windows or interfere with other architectural details.
- Signs reflecting the type of business through design, shape, or graphic form are encouraged.

### 2. Hanging and Projecting Signs

Hanging signs can either be hung from brackets that attach to the building (also called projecting signs), or hung from arcade / covered walkway, or trellis structures (under canopy signs). These signs are primarily pedestrian oriented signs.

- The height from the sidewalk to the bottom of the sign must be in accordance to the city standards, a minimum of 8 feet.
- Size of hanging signs should be a maximum of ten (10) square feet in area to give businesses equal visibility of their signage. The City may approve a larger or smaller sign if it is determined that such signs are architecturally harmonious in relation to the size and location of the building area occupied by the enterprise and the center for which the overall sign plan is proposed.
- Hanging signs should be carefully detailed to have a quality finished and designed appearance.
- The method of attachment of the sign to the underside of the arcade should be carefully detailed. This includes:
  - How the chain, cable or rod attaches to the underside of the arcade
  - The chain, cable or rod itself
  - The way the chain, cable, or rod attaches to the sign

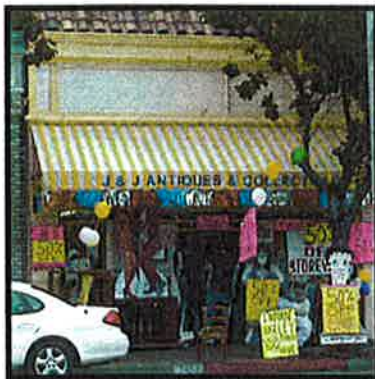




*Proportional awning sign example.*



*Appropriate temporary sign.*



*Inappropriate temporary sign.*

### 3. Awning Signs

Awning signs consist of letters, graphics, and/or logos printed onto awnings. Used along a sidewalk, these signs are primarily auto-oriented. Used within the plaza, these signs will be pedestrian oriented.

- Awnings with imprinted signage may be used. Signage letters should be complementary to the awning in color, and should be proportional.
- Simplicity is the key to a quality awning sign. Graphics, letters and logos can be used, but may not cover more than 25% of awning and must be professionally designed.
- Awning signage should be properly maintained and should be replaced if it starts to appear faded or worn.
- Awning signage should be limited to store names and trademarks should be avoided.



*Sign graphics and lettering should not dominate the awning.*



*Example of undesirable awning sign.*

### 4. Temporary Signs (Special Occasion Sign)

Though these signs are only temporary, they should have a clean, quality appearance. Poor quality, messy signs are not allowed. Temporary signs are typically used in a window display such as grand openings, sales, holidays, carnivals, political campaigns, community affairs, etc.

- Temporary signs should take up no more than twenty-five percent (25%) of the window or opening area which remains after deducting the area from any window or opening area devoted to permanent interior business window signs. The sign may be used for thirty (30) days and shall be removed no later than one (1) day after the thirty day period has expired.

## 5. Prohibited Signs

The following types of signs will be prohibited in the Ojai Plaza Area.

- Flashing, rotating, moving, blinking, and reflecting or fluorescent painted signs
- Signs on trees, shrubs, stones, fences, utility poles, or any similar object or structure
- Signs of nonpermanent materials
- Floating signs (i.e. balloons)
- Internally illuminated plastic signs
- “Luminous tube” neon signs shall be prohibited.



*Wrought iron or similar material lighting is encouraged.*

## F. Site and Building Lighting

Exterior architectural lighting is an important feature for buildings and for the plaza area. Lighting will help address the community goals to make the plaza a safer, more inviting, and active place in the evening. Effective lighting provides safety and direction for vehicles and pedestrians, visibility and security for businesses, while enhancing architectural building and landscape details. These guidelines apply to lights associated with the building.

- Building entries, covered/uncovered walkways, stairways, balconies and architectural elements on a building façade should be accented with architectural lighting.
- Light fixtures should work in conjunction with and complement the building’s character. This includes the size, scale, proportion and finish of the fixture.
- Provide adequate lighting without excessive overlap of illuminated areas. Design lighting to provide ambiance, safety, and security without unnecessary spill over or glare onto adjacent properties.
- Spotlighting or glare from any site lighting should be shielded from adjacent properties and directed at a specific object or target area. Exposed bulbs should not be used.
- Light fixtures should be designed or selected to be architecturally compatible with the Mission Revival Style. Metal (wrought iron looking) fixtures painted in dark colors are common of this style. Typical fixtures are square and geometric as opposed to rounded forms.
- Uplighting of building elements and trees are effective and attractive lighting techniques that are encouraged.
- Use low-voltage lighting that conserves energy in the landscaped areas whenever possible.
- Colored lights are discouraged.



- Strings of tivoli lights are discouraged on building facades except during the holiday season (Thanksgiving to New Years).
- Landscape lighting can be used to accent walkways and entries and/or seating areas and specimen plants / trees.
- Window display areas should be well lit. This will help light plaza area and attract window-shopping activity.

#### G. Utilitarian Aspects of the Buildings

Utilitarian aspects of the building include trash and recycling containers, delivery areas, utilities, storage areas, roof drainage, energy guidelines, and food service guidelines. These aspects can be the most difficult areas to design, but poorly addressed can ruin the character of a building and the plaza. Utility service areas should be part of the early building design or remodel process, rather than an afterthought at the construction document phase.

##### 1. Screening of Utilitarian Equipment

- Service, utility, and loading areas should be carefully designed, located, and integrated into the site plan. These critical functional elements should not detract from the public viewshed area.
- Siting of noise and odor generating functions on any site that may create a nuisance for the adjacent properties should be avoided.
- Roof access should be provided from the interior of the building. Exterior roof access ladders are not allowed.
- Wall or window mounted HVAC units are not permitted.
- Roof mounted HVAC equipment including ducts, vents and passive solar collectors shall be fully screened from public views. The screening structures/elements should be architecturally compatible with the overall design theme of the building using similar materials, textures, colors and form. Screens that appear as tacked on "fences" set on roof tops are discouraged. Where appropriate, parapet walls or other roof structures should be designed to a height that screens equipment without the need to add secondary screening structures.
- All new equipment will have screens as high as the equipment.
- Hide loading, storage and service facilities including docks, etc. from public views and integrate into the building's design.
- Paint or conceal from view bare metallic surfaces such as pipes, vents, gutters and flashing in a manner harmonious to the structure. Paint and finish flashing to match the adjacent building materials.
- Heavy timber, stucco, and trellis, or terra-cotta tile roof structures can be used for storage.



## 2. Trash Enclosures

- Provide recycling bins along with trash bins.
- Integrate recycling bins into trash container enclosure structure.
- Locate trash container enclosures in areas that minimize their visibility from adjacent uses, properties, streets and upper story uses.
- Trash enclosure structures should be six feet in height, shall be architecturally compatible with the design theme of adjacent buildings using similar durable low maintenance materials, textures, and colors.
- Trash collection areas and enclosures should be located for the convenience of users and collection agencies. (See Arcade Plaza Master Plan.)
- Use materials such as heavy timber, stucco, and terra-cotta roof tiles for trash enclosure structures.
- Roof structures over trash enclosures are encouraged. These can be a terra-cotta tile pitched roof or a heavy timber trellis structure.
- The best recycling, refuse and green waste practices that are feasible are encouraged within the plaza.

## 3. Disabled-Accessible Ramps and Railing

- Ramps and guardrails used as a means of egress must conform to the criteria listed in Section 1003.3.4 of the Uniform Building Code (UBC).
- Guardrails should compliment the architectural style of the building while conforming to the UBC.
- Ramps can be integrated into the site design creating functional or unique spaces.

## 4. Exterior Utility Panels

- Utility service areas, such as electrical panels, should be placed within enclosures or hidden from view that are architecturally integrated into the building design.

## 5. Roof Drainage

- Gutters and downspouts on the exterior of the building should be decorative or designed to integrate with the building facade.
- Roof scuppers should not be used in areas that are visible to the public spaces, unless they are decorative elements.

**6. Food Service**

- Grease traps should be designed and implemented per the Uniform Plumbing Code.
- A plan for grease removal / extraction from the facility should be created. If grease barrels are to be stored on site for eventual removal then they need to be stored within the trash enclosure or in another approved location.
- Grease barrels with spill containment basins are recommended.
- In order to prevent grease build-up and undesirable odors all equipment and mats must be washed in compliance with the National Pollution Discharge Elimination Standards.

**7. Energy Guidelines**

- All buildings should incorporate energy-efficient concepts, i.e.: natural heating/cooling, appropriate sun/wind exposure and orientation (Passive solar design).
- Buildings and related structures/elements should provide plenty of shade and air circulation for pedestrian users in the hot summer months, thermal mass for natural heating in the cool winter months.
- All buildings should incorporate the construction industries' 'state-of-the-art' energy-efficient technologies (e.g. photovoltaic solar energy collection panels) and construction systems/technologies to provide the highest possible energy efficient buildings.

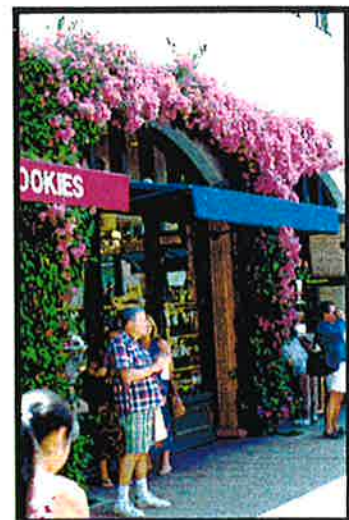


## H. Landscape / Hardscape

On the whole, the city's existing lush landscaping, with a variety of shade trees and colorful understory, will continue into the expansion area. All privately landscaped areas should strive to follow this same planting arrangements and careful maintenance practices.

### 1. Plant Materials and Layout

- Landscaping should be consistent with the existing landscaping palette within the plaza.
- Where new landscaping is proposed within the plaza, a landscaping plan should be submitted to the City for review.
- Use of native and low water use plants in conjunction with efficient and long-term water system for the establishment and maintenance of a drought-tolerant landscape is strongly recommended.
- Artwork and sculpture are encouraged to be incorporated into any landscape design.
- Use of window boxes for upper story users is encouraged to provide color-spots at higher elevations, but plants must be accessible for maintenance and should be attached safely and securely.
- Plant material such as evergreens should be used to soften structural edges. It may not be used as a mask to justify poor building design.
- Water features should be used with planting and natural materials in courtyards and plazas.
- Trees and shrubs should be located and spaced to allow for mature and long-term growth. Trees and shrubs should provide minimal root problems.
- Accent planting should be used around entries and key activity hubs.
- Planting should be used to screen less desirable areas from public view, i.e., trash enclosures, parking areas, storage areas, loading areas, and public utilities.
- Consideration of seasonal shading from trees and shrubs should be considered when developing planting schemes.
- The irrigation systems shall be designed to apply water slowly allowing plants to be deep watered and reducing runoff. Drip systems are required in all areas except turf irrigation and small ornamental planting.
- Deciduous trees provide solar control during summer and winter while providing fall color, seasonal flower and other desired effects.



*Planting around entries can add visual appeal.*



- Plants to be avoided include: short lived plants and those susceptible to disease; shrubs and ground cover that have become commonplace in Southern California; and large expanses of single plant varieties due to their unchanging appearance and loss of landscaping once struck with disease.
- Lawn areas should be limited to a maximum of 1/3 the area devoted to plant material and should to be used only to serve a functional purpose.
- Pruning should be done in order to preserve the health, structural integrity, beauty, and longevity of the plant. It should not be used to clip plants into unnatural geometric shapes.
- All properties should be well maintained in order to have positive effects on the adjacent area and on the community as a whole. Dead plants should be replaced as soon as possible to preserve the appearance of the property.

## 2. Paving Treatment

Though most of the paving areas are publicly owned, this section offers guidelines for sidewalk or patio paving treatments on private property.

- Areas between privately-owned properties and the street right-of-way may be paved with a different material than the sidewalk to accentuate entry ways or other pedestrian ways.
- Courtyards, outdoor patios, arcades, and plazas provide inviting open spaces. Accent these spaces with a more detailed and well-defined paving design. Materials may include concrete or brick pavers, tile, scored, colored, and textured concrete.
- Use durable, smooth and even surfaces used in well-traveled areas.
- Incorporate patterned and colored in paving treatments using tile, brick, textured concrete in order to provide clear identification of pedestrian access points into buildings, parking features and to accent semi-private areas.
- Artist designed paving treatments are encouraged to add creativity and interest and may possibly serve as public art or can be functional art as a time piece, directional marker, or historical anecdote.



*Special paving on private property is encouraged.*

I. Furnishings

Furnishings are to be incorporated into the plaza to complement and enhance surrounding development and make it comfortable for pedestrians. Such elements include public art, benches, telephone boxes, café tables and chairs, moveable pots and plant containers, historical plaques, tables, informational displays, etc. All outdoor furnishings shall be of high quality and made of long lasting material. Artistic forms and unusual materials that compliment and do not clutter or compete with the existing Village character are encouraged.

- Resin or plastic benches, café tables and chairs should not be used within the plaza.
- Umbrellas should be made of cloth (not plastic or vinyl) and should be high enough so as not to block visibility of pedestrians.
- Umbrellas should be regularly maintained and kept free from tears, fading, and stains.
- Plastic trash containers should not be used.
- Plastic pottery should not be used.
- Authentic quality materials should be used for all furnishings.



*Solid colored umbrellas are encouraged.*



*Furniture can add color and character.*



*Metal furniture provides a durable alternative.*



*Artistic and unique furniture is encouraged.*



*Authentic quality materials should be used.*

### III. Facade Renovation and New Construction

#### 1. New Construction

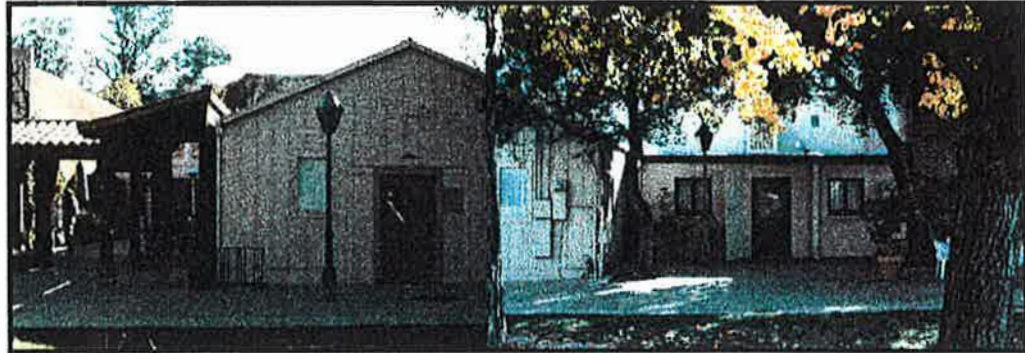
- Design of new buildings should be consistent with the design guidelines of this document.
- There are a few undeveloped parcels in the plaza that are privately owned. During the Ojai Plaza public outreach process, the community recommended that the plaza remain a more open undeveloped plaza with a few small building additions. The concept plan shows a small structure (i.e. flower stand) at the end of the Ojai Avenue walk-through, a building expansion in the Southwest corner of the plaza, and a small kiosk type structure centrally located in the plaza. If these or any other building additions or new structures are built in the plaza, it is important that they follow both the concept plan as well as the Design Guideline document.

#### 2. Renovations

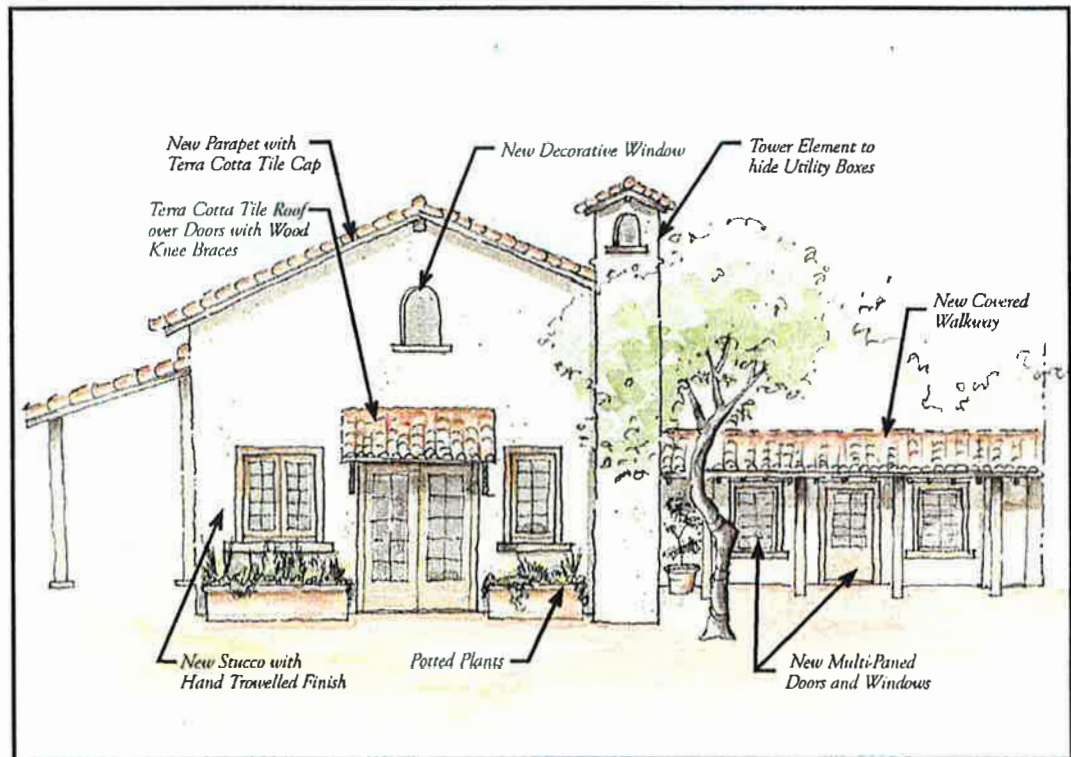
When renovating or adding onto an existing structure, the architectural style, massing, and detailing should compliment the existing structure. If the existing building is not consistent with this guideline document, it should be upgraded.

- Form and massing of additions should be congruent with the existing structure to avoid a “tacked-on” look.
- Architectural details such as windows, doors, wall treatments, colors and materials should compliment existing building.





Before

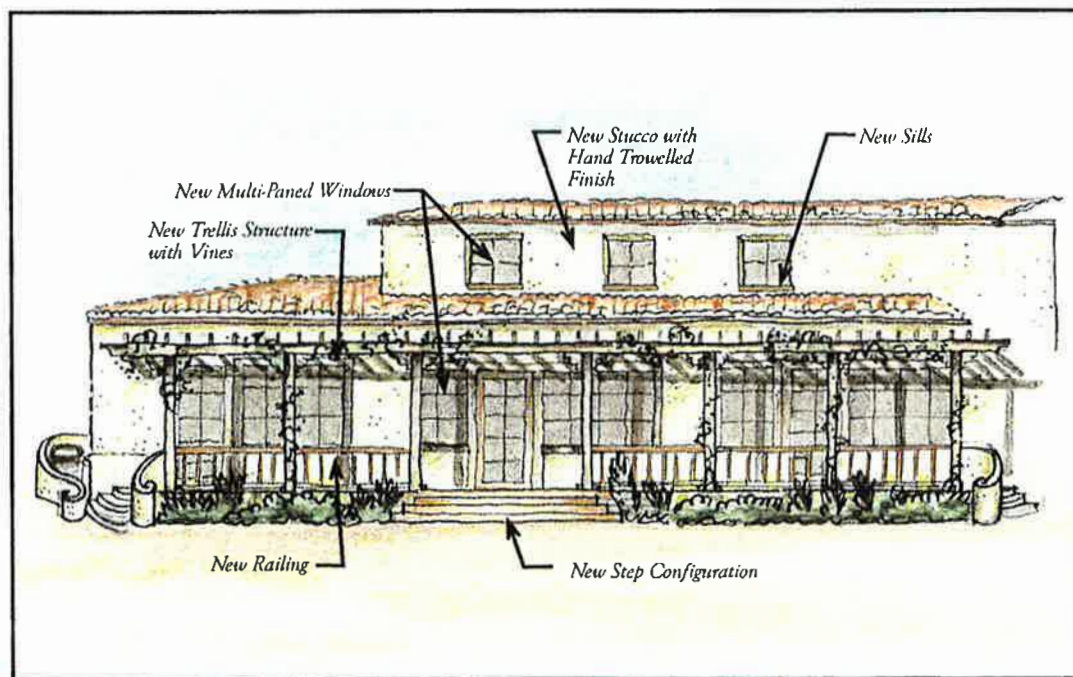


After





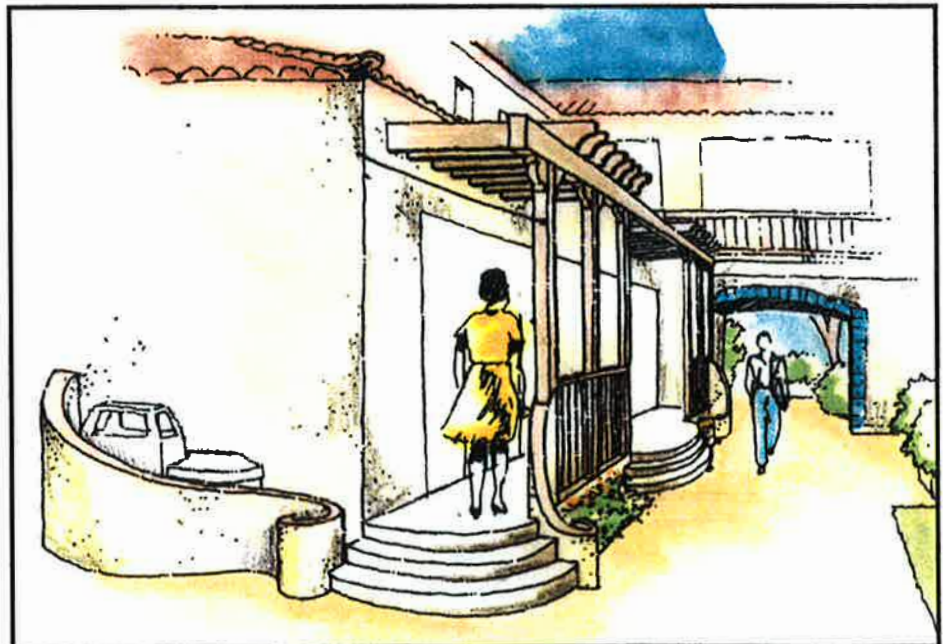
Before



After



Before



After

## MISSION REVIVAL STYLE

Influences and examples of Mission Revival architectural style can be found throughout California. The photos used in this document were taken from the following locations:

City of Carmel, California  
City of Ojai, California  
City of San Luis Obispo, California  
City of Santa Barbara, California

Harris Ranch, Coalinga, California

Mission Carmel, Carmel, California  
Mission La Purisima, Lompoc, California  
Mission San Buenaventura, Ventura, California  
Mission San Diego, San Diego, California  
Mission San Fernando, Mission Hills, California  
Mission San Luis Obispo, San Luis Obispo, California  
Mission San Luis Rey, Oceanside, California  
Mission San Rafael Arcangel, San Rafael, California







