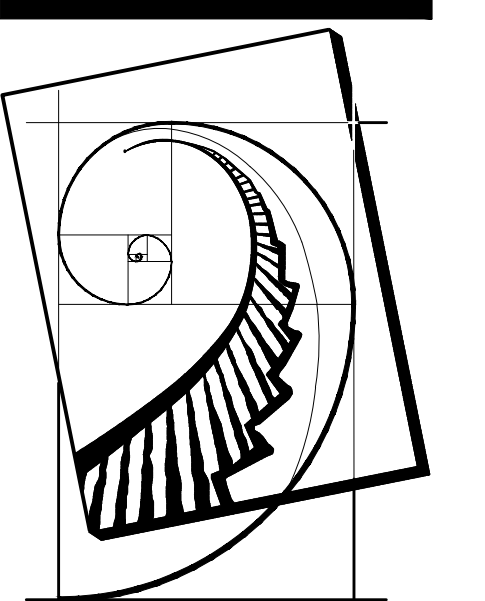
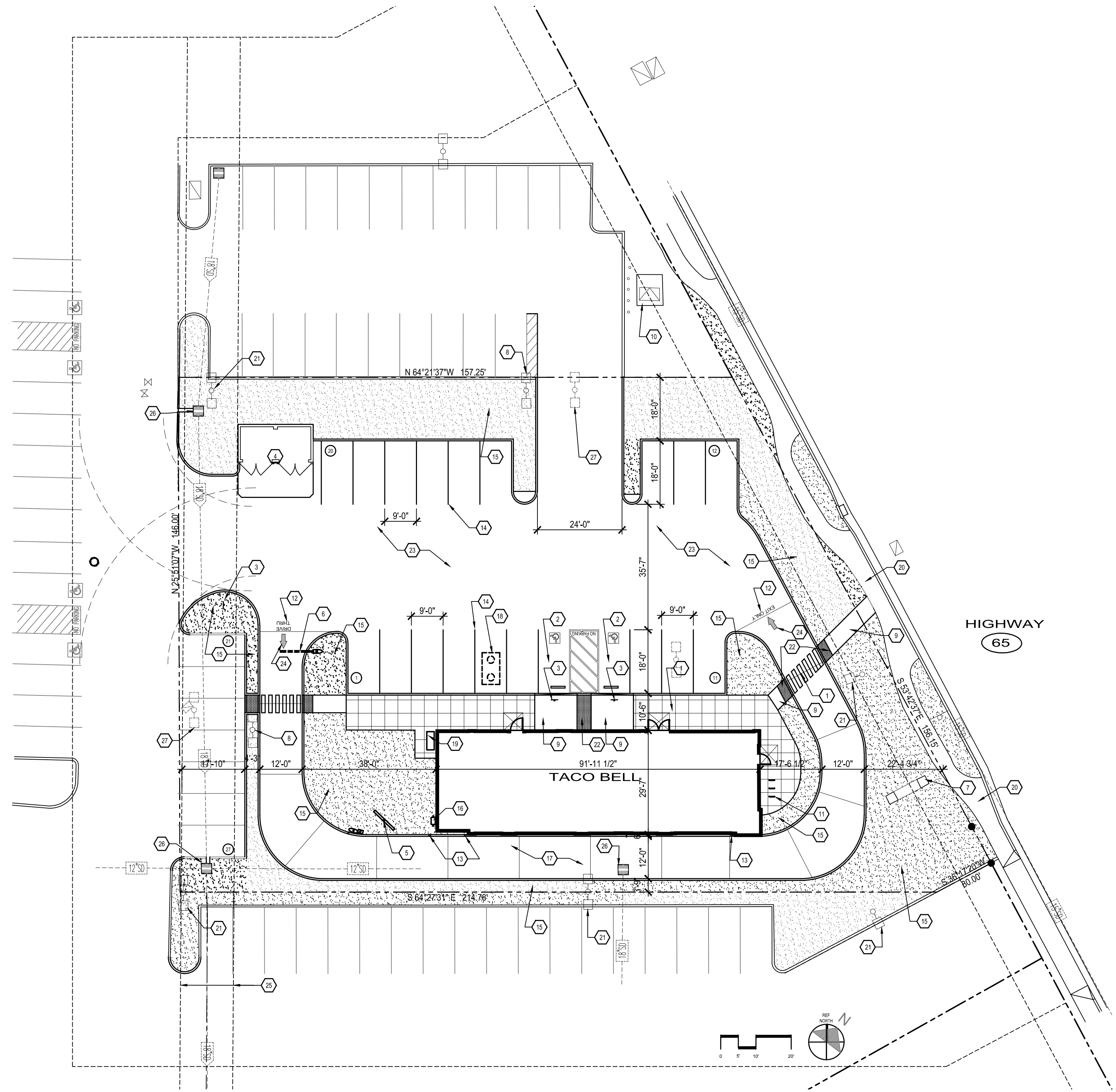


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 ALL IDEAS, DESIGNS, ARRANGEMENTS AND PLANS INDICATED BY THIS OFFICE AND DEVELOPED FOR USE ON, AND IN CONNECTION WITH, THE SPECIFIED PROJECT, SHALL BE USED BY OR DISCLOSED TO ANY PERSON, FIRM OR CORPORATION FOR ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN PERMISSION OF PROJECT ARCHITECT.
 WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL TAKE PRECEDENCE OVER SCALE DIMENSIONS. CONTRACTORS SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THE OFFICE MUST BE NOTIFIED OF ANY VARIATION FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS. SHOP DETAILS OF ADEQUATE SCALE MUST BE SUBMITTED TO THIS OFFICE FOR APPROVAL BEFORE PROCEEDING WITH FABRICATION OF ITEMS SHOWN.



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RECORD DATES	
DD SUBMITTAL	6/28/17
BLDG. SUBMITTAL	-
BID SET	-
CONTRACT SET	-

REVISIONS	

CLIENT
 Silver Oak Management Corp
 2621 Shirland Road
 Auburn, CA 95603
 Walter Plunkett
 (916)883-0117

PROJECT
 TACO BELL
 Settlers Village
 1912 Highway 65
 Wheatland, CA 95692

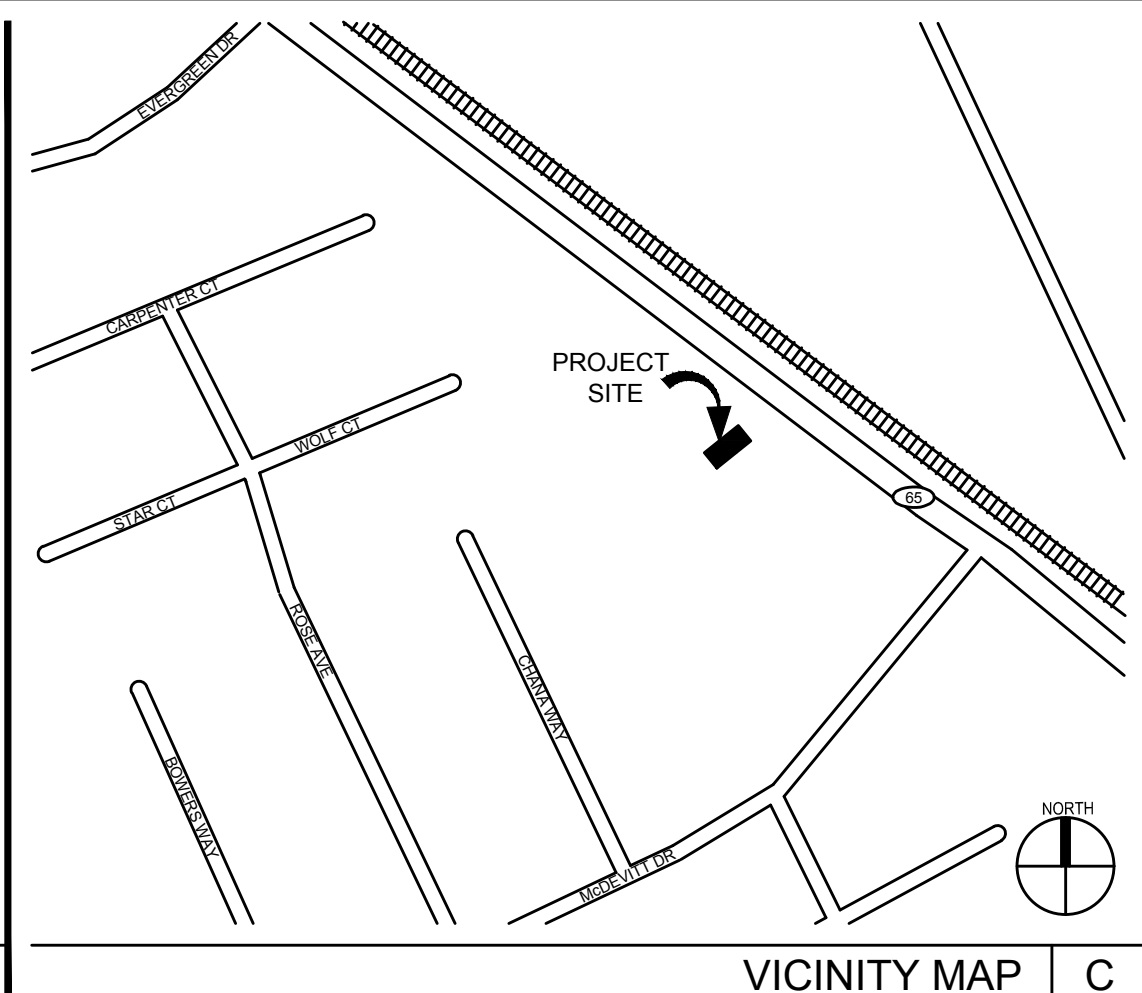


EX EXPLORER 50 LITE

SITE PLAN
DD 0.0

SITE PLAN 1/20" = 1'-0" A

SHEET INDEX	
DD 0.0	SITE PLAN, PROJECT INFORMATION, VICINITY MAP, SHEET INDEX
DD 0.1	SITE DETAILS
DD 0.2	SITE DETAILS
DD 1.0	FLOOR PLAN
DD 2.0	ROOF PLAN
DD 3.0	EXTERIOR ELEVATIONS
DD 3.1	EXTERIOR ELEVATIONS
DD 4.0	COLOR EXTERIOR ELEVATIONS
L 1.0	PRELIMINARY LANDSCAPE PLAN



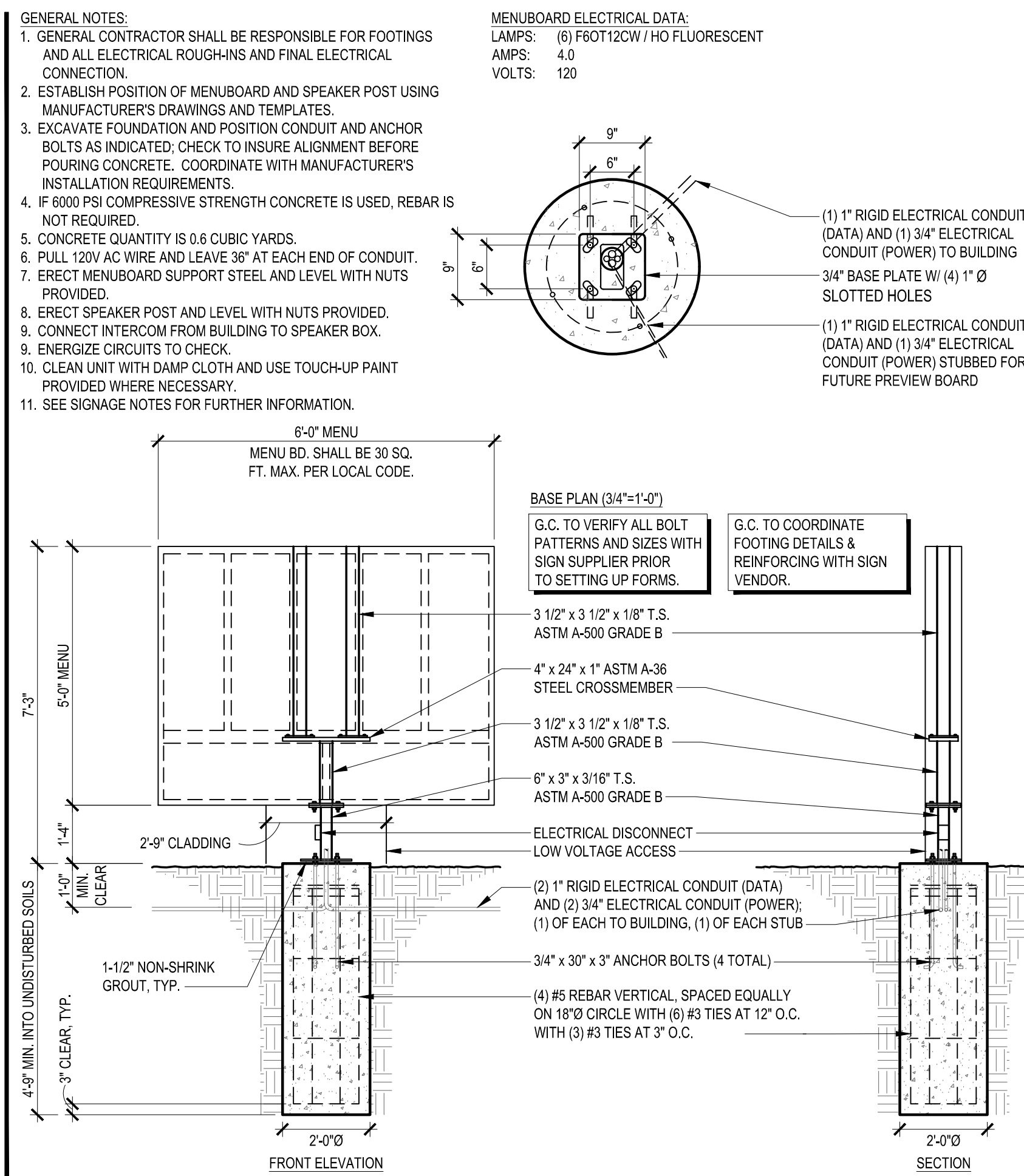
- | SITE PLAN KEY NOTES | |
|---------------------|--|
| 1 | ADA ACCESSIBLE PATH OF TRAVEL. CROSS SLOPE ALONG PATH NOT TO EXCEED 1.5% AND SLOPE IN DIRECTION OF TRAVEL NOT TO EXCEED 4.6%. ABRUPT CHANGES IN ELEVATION SHALL BE LIMITED TO 1/2" MAX. G.C. TO RE-GRADE AND/OR PROVIDE CURB RAMPS TO ATTAIN COMPLIANCE IF NECESSARY. VERIFY IN FIELD. |
| 2 | (N) ADA ACCESSIBLE PARKING STALL. 1.5% MAX PAVEMENT SLOPE WITHIN HANDICAP ACCESSIBLE PARKING AREA. REFER TO GRADING PLAN. |
| 3 | (N) TOW AWAY SIGN PER ADA REQUIREMENTS. |
| 4 | (E) TRASH ENCLOSURE. |
| 5 | (E) MENU BOARD. |
| 6 | (N) SOFFIT CLEARANCE BAR. |
| 7 | (E) MONUMENT SIGN. |
| 8 | (N) SITE LIGHTING, TYP. |
| 9 | (N) ADA RAMPS. |
| 10 | (E) TRANSFORMER. |
| 11 | (N) BIKE RACK. |
| 12 | (N) 24" HIGH LETTERS WITH TRAFFIC PAINT. |
| 13 | (N) 6" PIPE BOLLARDS. |
| 14 | (N) PARKING STRIPPING PER CITY STANDARDS. |
| 15 | (N) LANDSCAPING AREA. |
| 16 | (N) GAS METER. |
| 17 | (N) DRIVE THRU LANE. |
| 18 | (N) GREASE INTERCEPTOR. |
| 19 | (N) SWITCH GEAR. |
| 20 | (E) PUBLIC SIDE WALK. |
| 21 | (E) SITE LIGHTING. |
| 22 | (N) TRUNCATED DOMES. |
| 23 | (N) ASPHALT PAVING IN PARKING LOT. |
| 24 | (N) PAINTED ARROWS. |
| 25 | 15'-0" (E) SEWER EASEMENT. |
| 26 | (E) STORM SEWER CATCH BASIN. |
| 27 | RELOCATE (E) SITE LIGHT. |

NOT USED E

PROJECT INFORMATION D

VICINITY MAP C

4 SITE PLAN KEY NOTES B

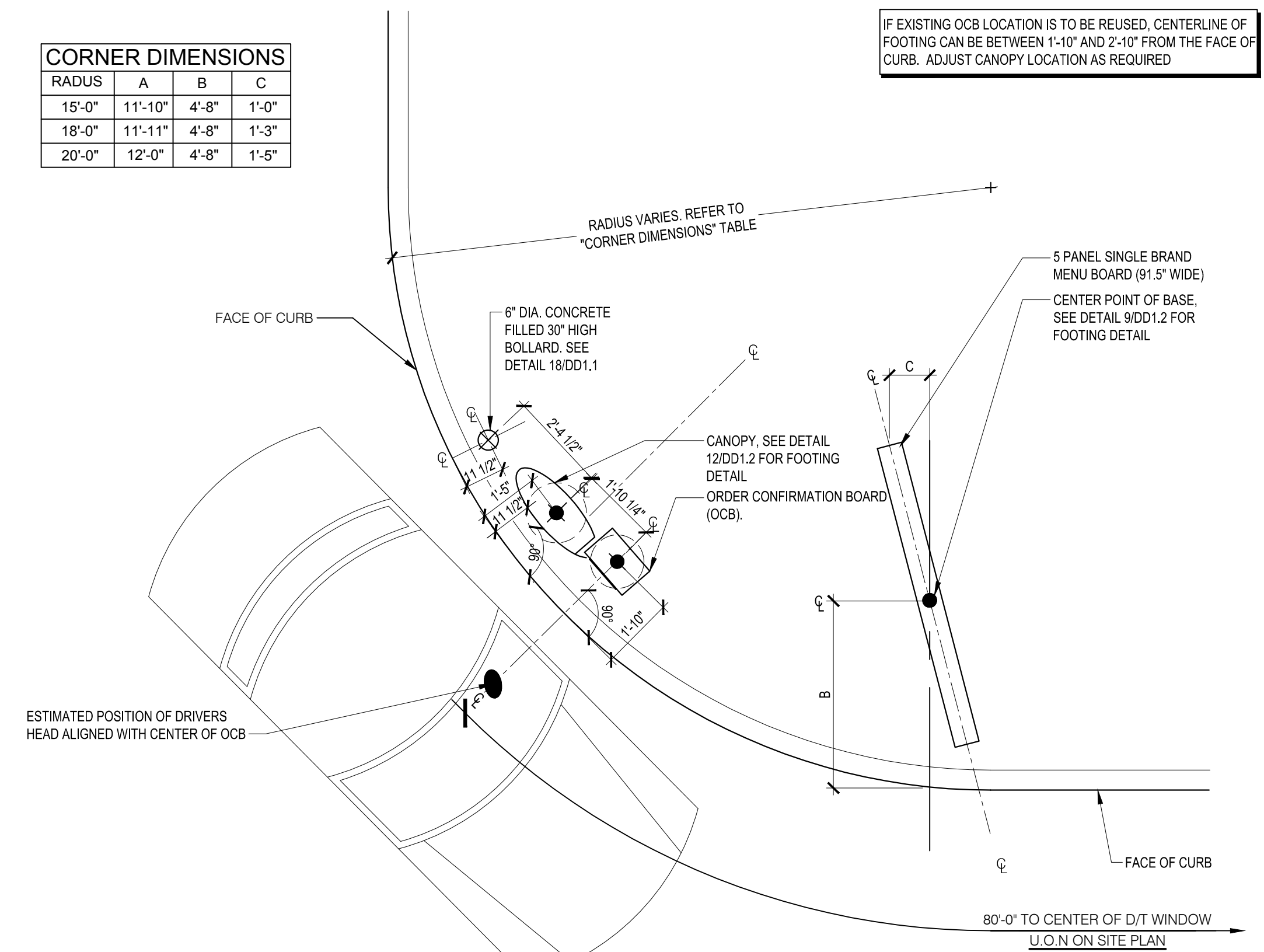


ENTRY PORTAL N.T.S. 14

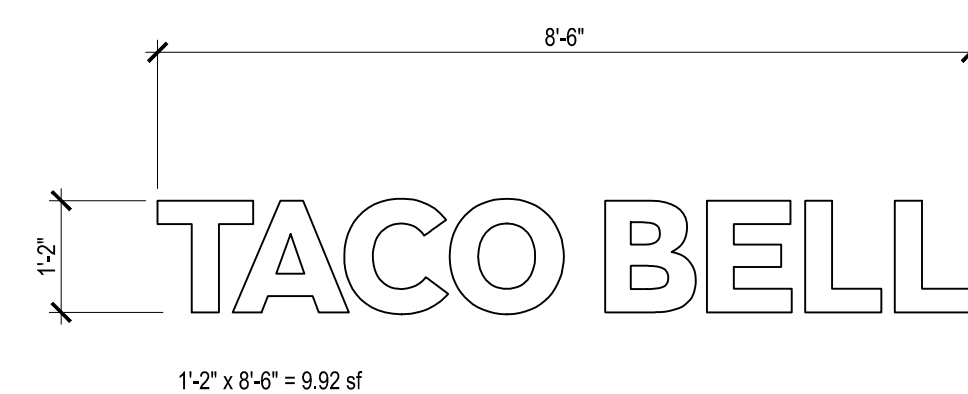
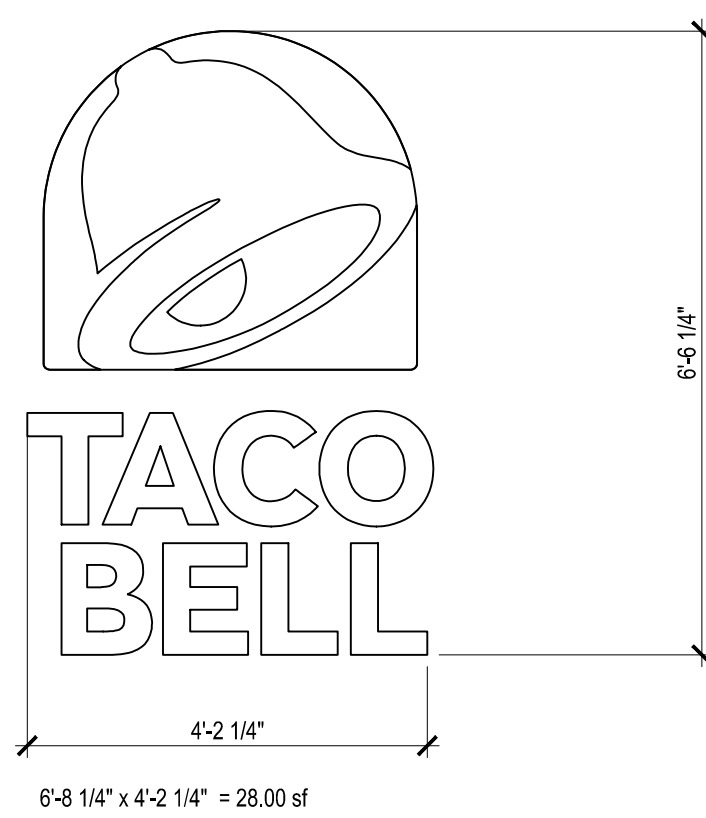
MENU BOARD BRB 3/8" = 1'-0" 9

CORNER DIMENSIONS

RADIUS	A	B	C
15'-0"	11'-10"	4'-8"	1'-0"
18'-0"	11'-11"	4'-8"	1'-3"
20'-0"	12'-0"	4'-8"	1'-5"



ENLARGED MENU BOARD DETAIL 3/8" = 1'-0" 2



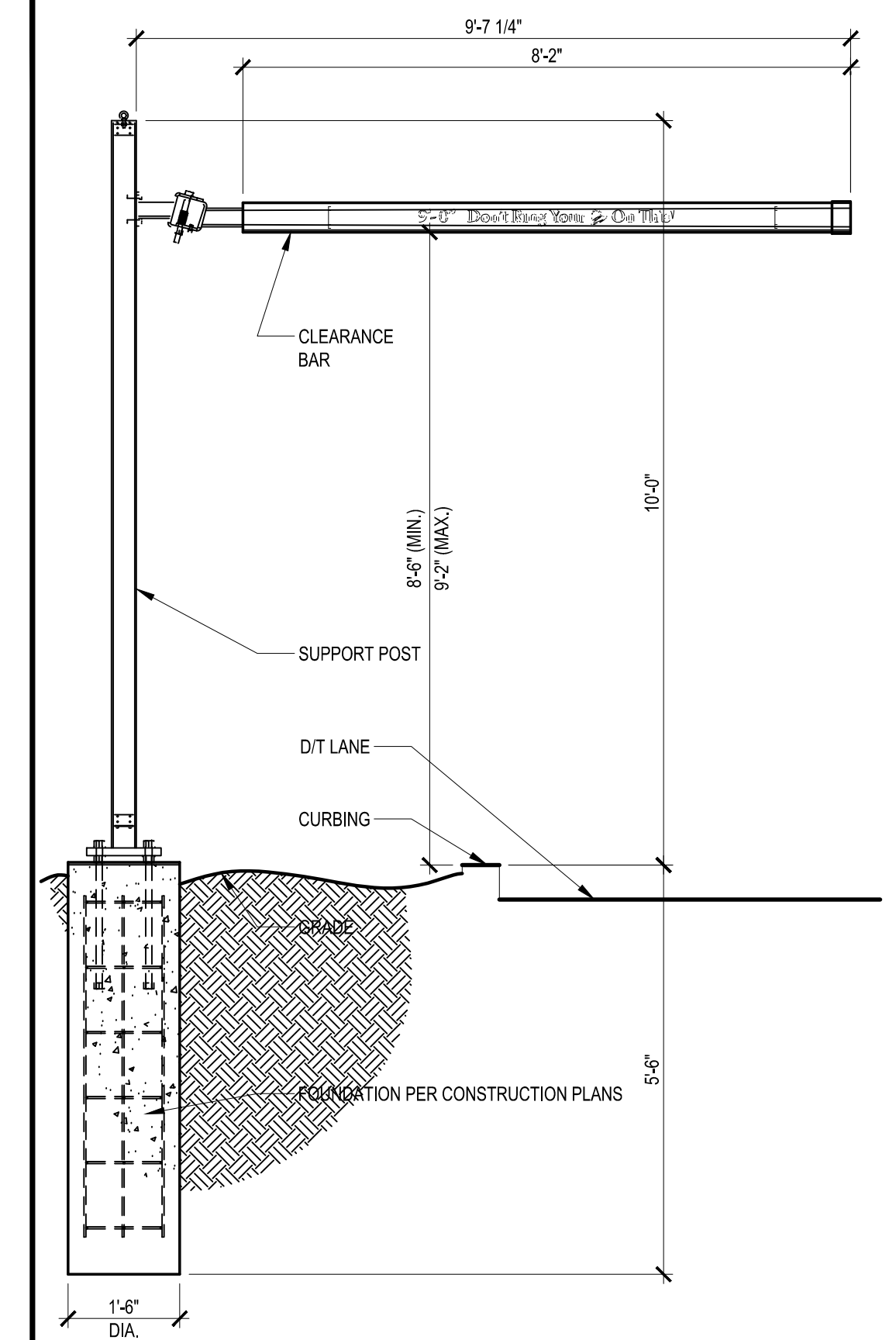
TOTALS

ELEVATION	AREA PROPOSED
EAST	28.00 SF
WEST	00.00 SF
SOUTH	28.00 SF
NORTH	9.92 SF
TOTAL	65.92 SF

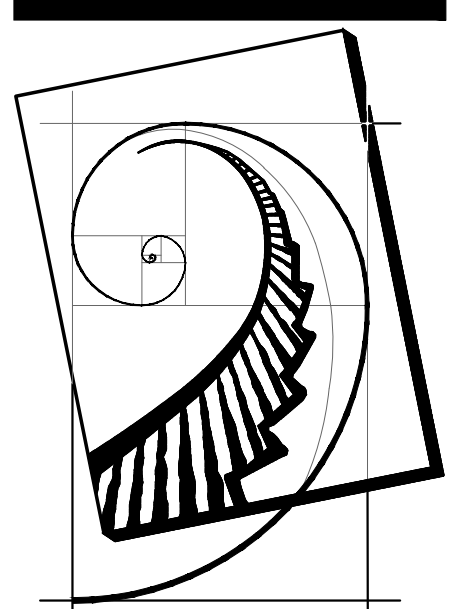
PER SIGN PROGRAM SITE IS ALLOWED 150 SF

SIGNAGE 12

NOT USED 8

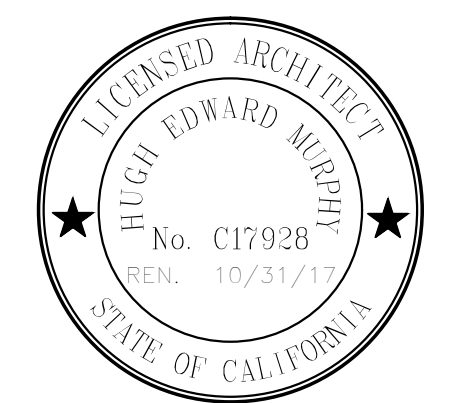


ENTRY PORTAL 1/2" = 1'-0" 4



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Walter Plunkett
(916)663-0117

PROJECT
TACO BELL
Settlers Village
1912 Highway 65
Wheatland, CA 95692



EX EXPLORER 50 LITE

SITE DETAILS
DD 0.1

W:\Data\SilverOak\1710_SilverOak_Wheatland_Hwy65_31243502_ddl_current\015_1710_DD0-2.dwg By: P:\MOSS Saved on 5/25/2017 8:52:43 AM
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CONCRETE MASONRY UNIT:

- CONCRETE BLOCK UNITS SHALL CONFORM TO ASTM C90-75 GRADE N OR BETTER fm=1500 PSI MEDIUM WEIGHT.
- MORTAR SHALL BE BY VOLUME 1-PART PORTLAND CEMENT, 1/4 TO 1/2 PART HYDRATED LIME OR LIME PUTTY, 2-1/2 TO 3 TIMES VOLUME OF CEMENT AND LIME OF DAMP LOOSE AGGREGATE. 2" CUBES SHALL TEST 2000 PSI IN 28 DAYS.
- GROUT SHALL BE BY VOLUME 1-PART PORTLAND CEMENT, 3 PARTS OF SAND, 1/10 PART LIME (OPTIONAL), TWO PARTS OF PEA GRAVEL MAY BE USED WHERE THE LEAST CLEAR CELL DIMENSION IS 4", NOT MORE THAN 5% OF THE PEA GRAVEL SHALL PASS THE NO. 8 SEIVE AND 100% SHALL PASS THE 3/8" SEIVE. MINIMUM STRENGTH: 2000 PSI.
- REINFORCING STEEL SHALL BE THE SAME AS NOTE 4 UNDER CONCRETE.
- LAP ALL BARS 40 BAR DIAMETERS.
- DRILL THRU STEEL COLUMNS AND BEAMS TO PASS REBAR. 60. NO OPEN-END BLOCK SHALL BE USED UNLESS APPROVED BY PROJECT DESIGN ENGINEER.
- BEFORE BLOCK IS PLACED ON CONCRETE, THOROUGHLY CLEAN CONCRETE OF ALL LATANCE AND ALL LOOSE MATERIAL. ROUGHEN AS IN A CONCRETE CONSTRUCTION JOINT.
- CONCRETE BLOCK MASONRY SHALL BE BUILT TO PRESERVE THE UNOBSTRUCTED CONTINUITY OF THE VERTICAL CELLS TO BE FILLED. WALLS & CROSS WEBS FORMING SUCH CELLS TO BE FILLED SHALL BE FULL BEDDED IN MORTAR TO PREVENT LEAKAGE OF GROUT. ALL HEAD OR END JOINTS SHALL BE SOLIDLY FILLED WITH MORTAR FOR A DISTANCE IN FROM THE FACE OF THE WALL OR UNIT NOT LESS THAN THE THICKNESS OF THE LONGITUDINAL FACE SHELLS. BOND SHALL BE PROVIDED BY LAPPING SUCCESSIVE COURSES OR BY EQUIVALENT MECHANICAL ANCHORAGE.
- CLEANOUT OPENINGS SHALL BE PROVIDED AT THE BOTTOMS OF ALL CELLS TO BE FILLED AT EACH LIFT OR POUR OF GROUT WHERE SUCH LIFT OR POUR OF GROUT IS IN EXCESS OF 4'-0" OF HEIGHT. ANY OVERHANGING MORTAR OR OTHER OBSTRUCTION OR DEBRIS SHALL BE REMOVED FROM INSIDE OF SUCH CELLS. THE CLEANOUTS SHALL BE SEALED AFTER INSPECTION AND BEFORE GROUTING.
- VERTICAL REINFORCING SHALL BE HELD IN POSITION AT TOP AND BOTTOM AND AT INTERVALS NOT EXCEEDING 192 BAR DIAMETERS.
- ALL CELLS CONTAINING REINFORCING OR BOLTS SHALL BE FILLED SOLIDLY WITH GROUT.
- WHEN GROUTING IS STOPPED FOR ONE HOUR OR LONGER, HORIZONTAL CONSTRUCTION JOINTS SHALL BE FORMED BY STOPPING THE POUR OF GROUT 1-1/2" BELOW THE TOP OF THE UPPERMOST UNIT.
- USE STRIPS OF METAL LATH TO CLOSE OFF CELLS THAT ARE NOT TO BE FILLED. DO NOT USE ANY PAPER PRODUCT TO CLOSE CELLS.
- THOROUGHLY CLEAN OF MORTAR ALL CELLS AND BOND BEAMS BEFORE GROUTING.
- PLACE ALL HORIZONTAL BARS IN BOND BEAM UNITS. WHEN TWO BARS ARE USED STAGGER LAPS AND SPREAD AS FAR APART AS POSSIBLE.
- USE OPEN END BLOCK FOR ALL STACK BOND CONSTRUCTION
- EACH VERTICAL BAR IN WALLS, PIERS, COLUMNS, ETC. SHALL LAP 40 DIAMETERS WITH A DOWEL TO WITHIN 3" OF THE BOTTOM OF THE FOUNDATION. DOWELS SHALL BE STRAIGHT AND PLUMB.
- ALIGN ALL VERTICAL BARS AND DOWELS AT THE CENTERLINE OF THE WALL, WHEN SINGLE LAYER OF REINFORCING IS USED UNLESS OTHERWISE NOTED.

CONCRETE:

CONCRETE SHALL BE HARD ROCK CONCRETE (5 SACK CEMENT PER CU YD MIN.) AND MEET THE FOLLOWING MINIMUM ULTIMATE COMPRESSIVE STRENGTHS AT 28 DAYS:

LOCATION	MIN. STRENGTH 28 DAYS, PSI	AGGREGATE SIZE - INCHES	SUMP, INCHES	TOLERANCE
SLAB ON GRADE	3,000	1" x #4	3-1/2"	+ 1/2"
FOUNDATIONS	3,000	1" x #4	3-1/2"	+ 1/2"

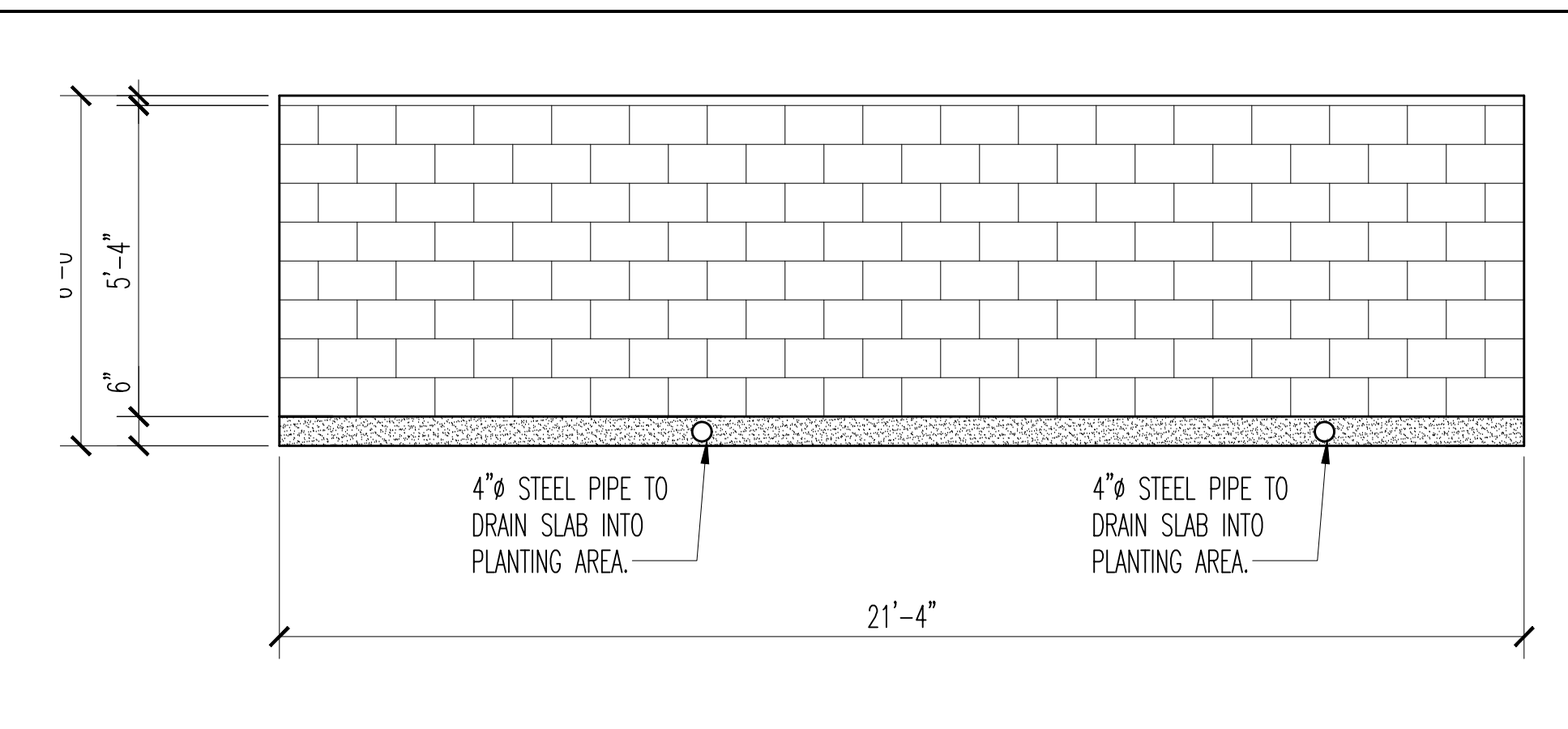
- CONCRETE MIX DESIGN AND TESTING SHALL MEET THE REQUIREMENTS OF THE PROJECT SPECIFICATIONS. CEMENT TO BE IN ACCORDANCE WITH ASTM C 150 TYPE II. VERIFY MINIMUM CONCRETE STRENGTH AND CEMENT TYPE WITH THE SULFATE REQUIREMENTS OF THE CBC 19-A-3.
- REINFORCING STEEL SHALL CONFORM TO ASTM A-615, GRADE 60 FOR #5 AND LARGER BARS AND GRADE 40 FOR #4 AND SMALLER. STEEL SHALL BE KEPT CLEAN AND FREE OF RUST.
- WELDED WIRE FABRIC SHALL CONFORM WITH ASTM A-185, AND SHALL BE LAPPED 12" MIN.
- SLABS, BEAMS, WALLS AND OTHER CONCRETE SHALL BE KEPT CONTINUOUSLY WET FOR 48 HOURS, AFTER PLACEMENT, AND SHALL BE KEPT DAMP FOR 7 DAYS AFTER PLACEMENT. SLABS SHALL HAVE CURE/SEALER APPLIED IMMEDIATELY AFTER FINISHING IF OTHER FINISHES ARE NOT AFFECTED. WHEN CURE SEALER CAN NOT BE APPLIED, SLAB SHALL BE KEPT CONTINUOUSLY WET OR COVERED WITH CURING PAPER. CURE SHALL BE OF A TYPE THAT WILL NOT BE DETRIMENTAL TO SEALERS TO BE APPLIED LATER.
- TYPICAL CONCRETE FLOOR SLAB: 4" THICK CONCRETE, REINFORCED WITH #3 @ 18" O.C. EACH WAY, OVER 2" SAND, OVER 10 MLL VAPOR BARRIER, OVER 4" FREE DRAINING CRUSHED ROCK (1/4" TO 3/4"), OVER COMPACTED PAD. ROCK SHALL BE COMPACTED IN TWO DIRECTIONS. THIS IS INTENDED AS A MINIMUM ONLY AND ALL WORK SHALL BE IN STRICT COMPLIANCE WITH THE PROJECTS GEOTECHNICAL REPORT.

MISCELLANEOUS:

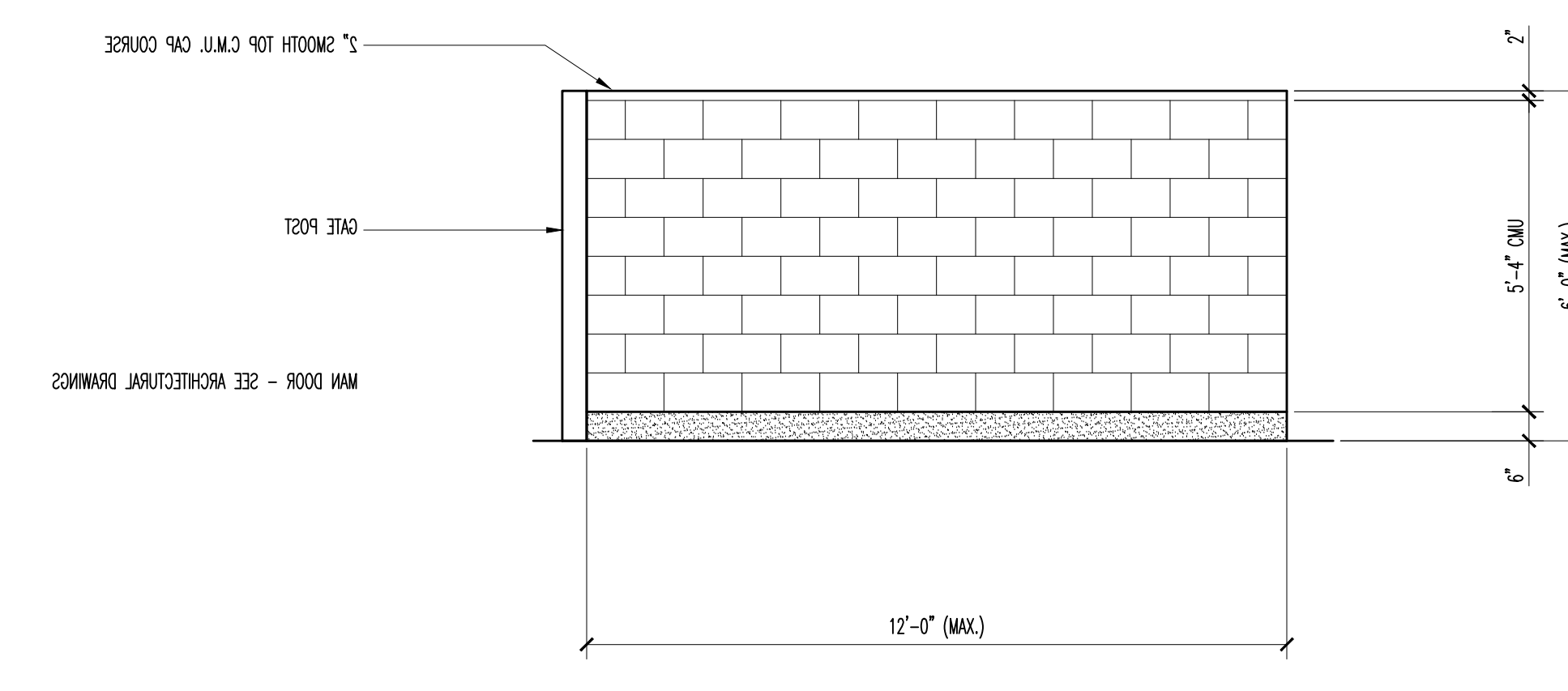
- ALL DIMENSIONS ARE TO FACE OF CONCRETE, U.O.N.
- DRAWINGS SHALL NOT BE SCALED. ALL DIMENSIONS AND FIT SHALL BE DETERMINED AND VERIFIED BY THE CONTRACTOR PRIOR TO COMMENCING WORK.
- DETAILS NOT FULLY OR SPECIFICALLY SHOWN SHALL BE OF SAME NATURE AS OTHER SIMILAR CONDITIONS.
- SEE SITE PLAN FOR COORDINATION WITH WALKS, CURBS, ACCESSIBLE RAMPS & OTHER MISCELLANEOUS SITE WORK.
- COORDINATE FOUNDATION & SLAB LAYOUT WITH OTHER TRADES.

SOILS:

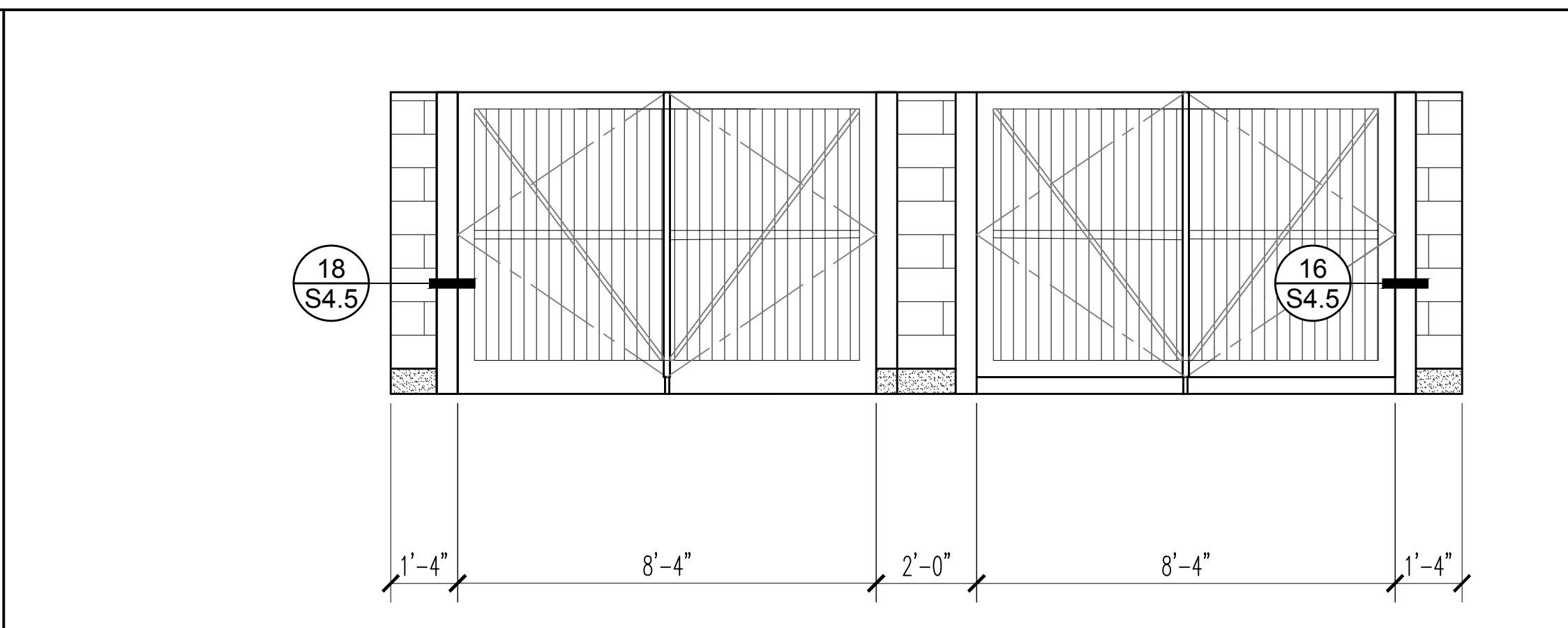
- ALL SOILS WORK SHALL BE DONE IN ACCORDANCE WITH THE SPECIFICATIONS, THE REQUIREMENTS OF THE GEOTECHNICAL REPORT AND CHAPTER 18 OF THE 2007 CBC.
- FOUNDATIONS MAY BE LOADED TO A BEARING CAPACITY OF 1,500 PSF TOTAL LOAD.
- ALL FOUNDATIONS SHALL BEAR ON FIRM UNDISTURBED SOIL AT OR EXCEEDING DEPTHS SHOWN ON THE DRAWINGS. INCREASE DEPTH AS REQUIRED BY PROJECT GEOTECHNICAL ENGINEER.
- ALL FOOTING EXCAVATIONS SHALL BE AS NEAT AS PRACTICABLE. OVER-EXCAVATIONS IN DEPTH SHALL BE FILLED WITH CONCRETE, AND IN WIDTH MAY BE FILLED WITH LEAN CONCRETE OR COMPACTED APPROVED BACKFILL.
- ALL LOOSE SOILS SHALL BE REMOVED FROM EXCAVATIONS PRIOR TO PLACEMENT OF REINFORCING OR CONCRETE.



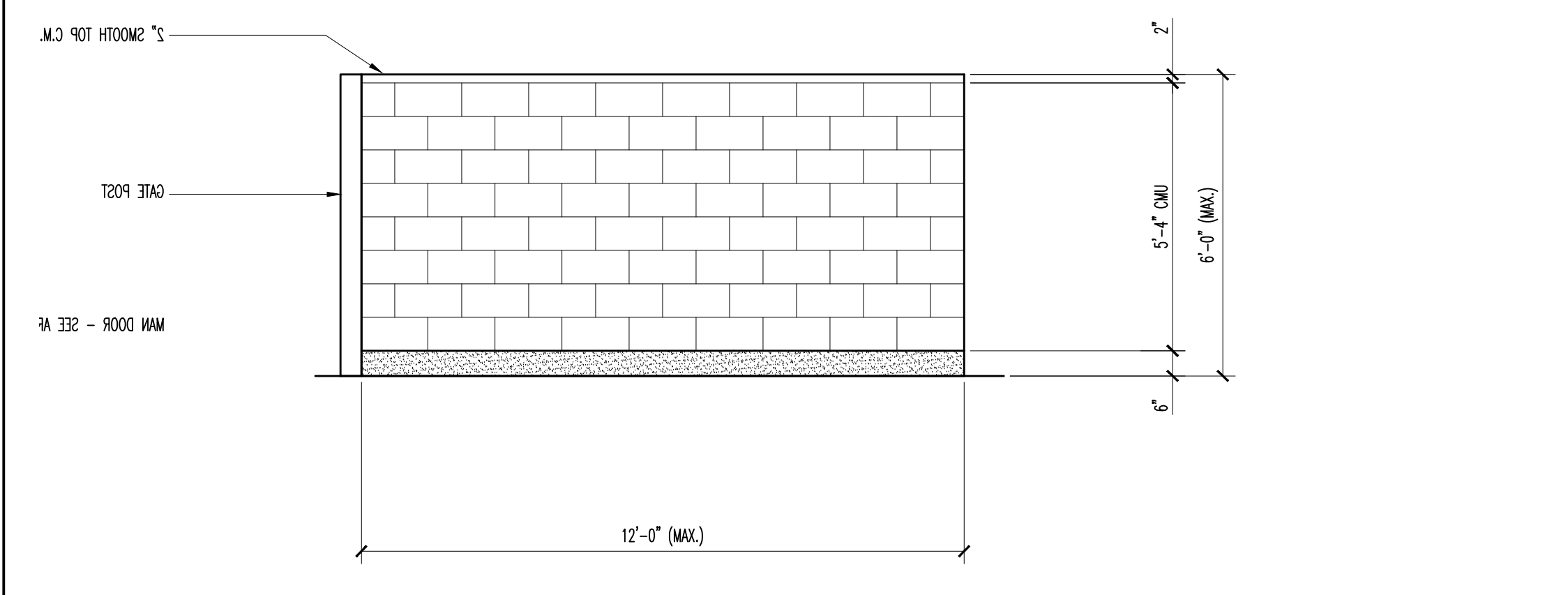
13 REAR ELEVATION SCALE: 3/8" = 1'-0"



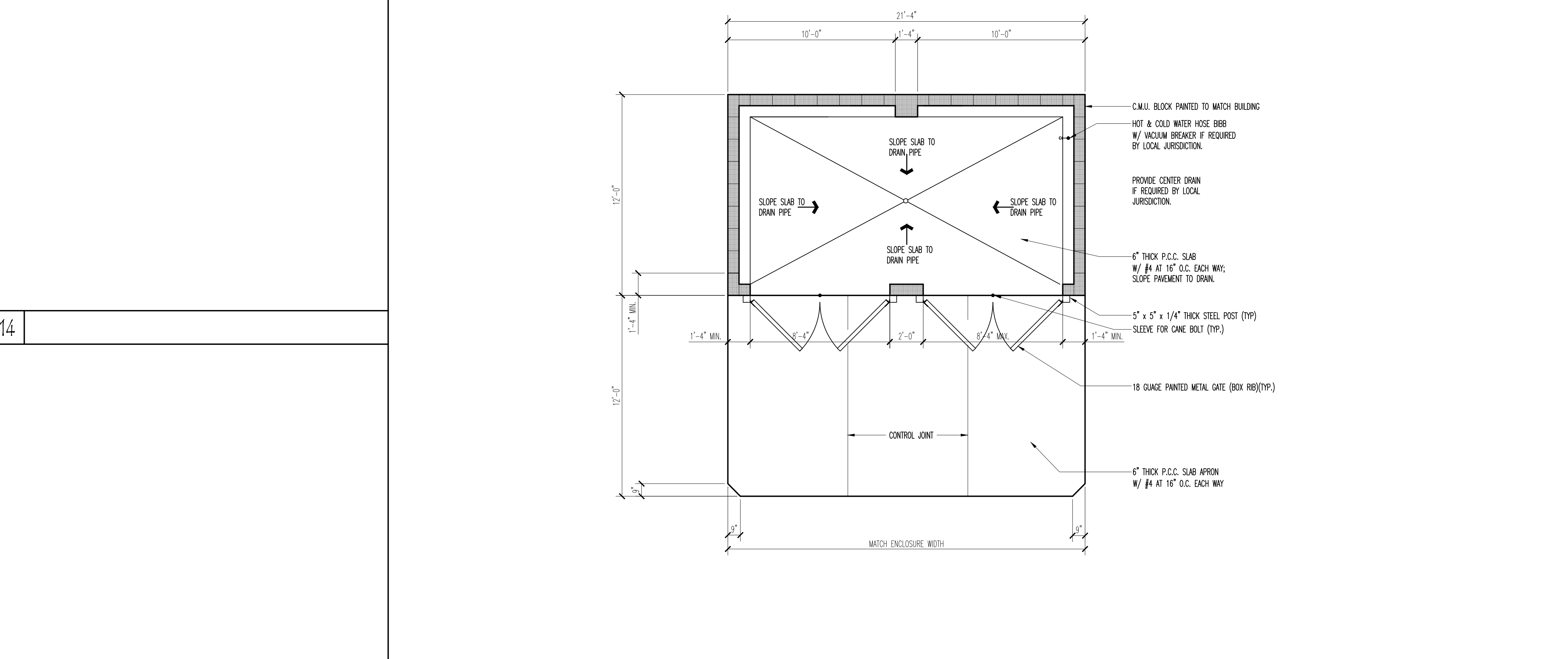
14 SIDE ELEVATION SCALE: 3/8" = 1'-0"



5 FRONT ELEVATION SCALE: 3/8" = 1'-0"



6 SIDE ELEVATION SCALE: 3/8" = 1'-0"

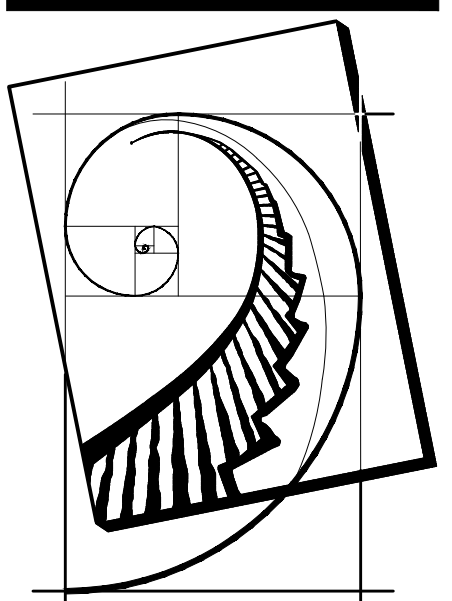


8 FLOOR / FOUNDATION PLAN SCALE: 1/2" = 1'

20 CMU NOTES

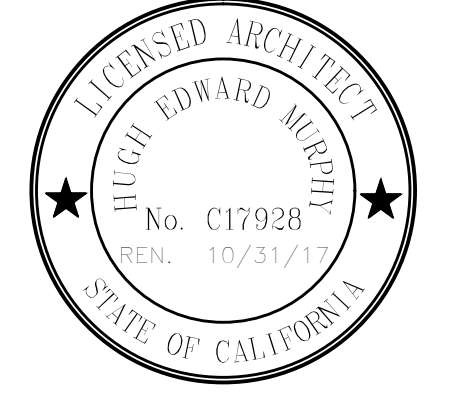
16

8 FLOOR / FOUNDATION PLAN



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REVISIONS

NO.	DESCRIPTION	DATE

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 2621 Shirland Road
 Auburn, CA 95603
 Walter Plunkett
 (916)663-0117

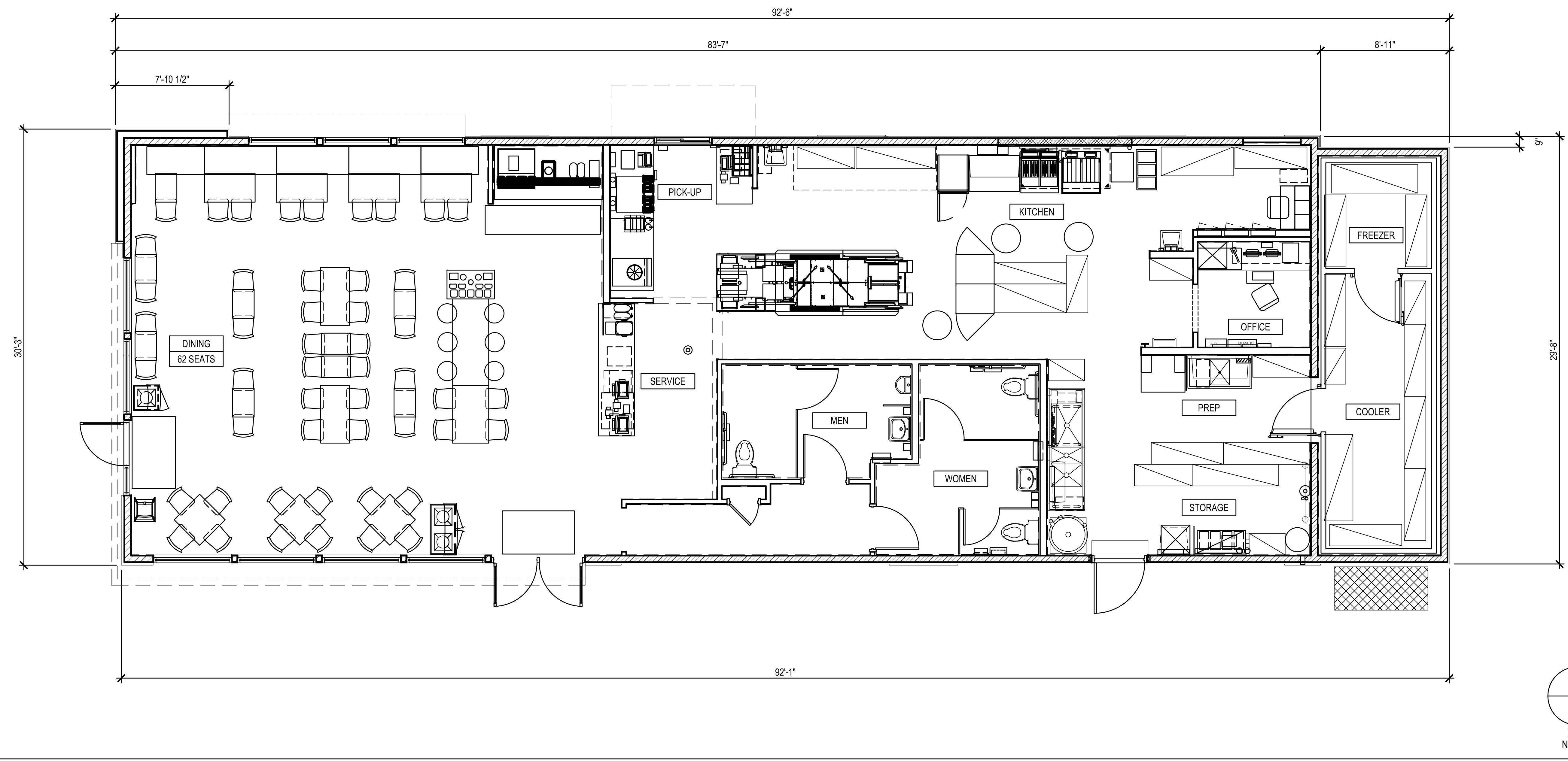
PROJECT
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 1912 Highway 65
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EX EXPLORER 50 LITE
 TRASH ENCLOSURE
 PLAN & DETAILS

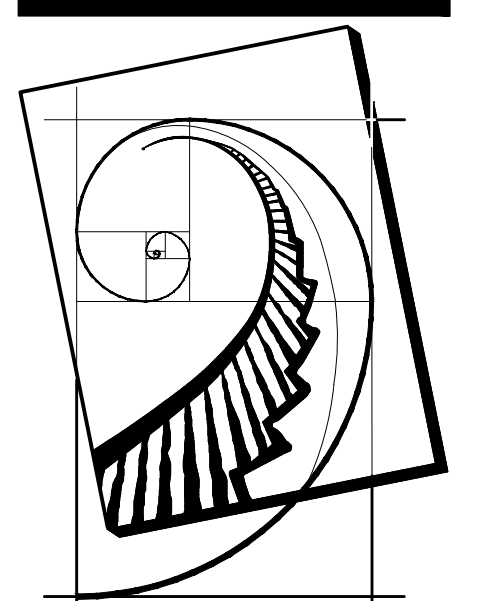
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SEATING PLAN 1/4" = 1'-0" A

NOT USED B



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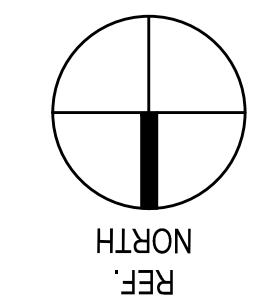
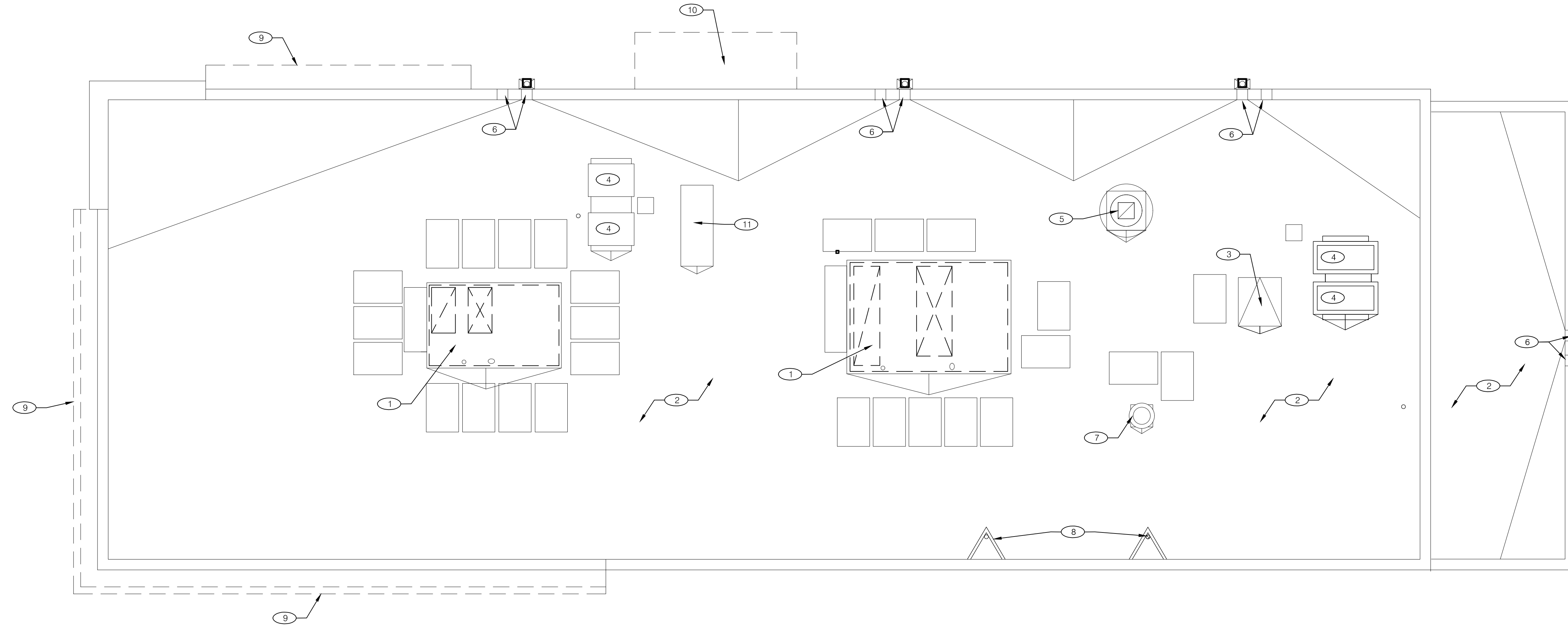
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EX EXPLORER 50 LITE

EXISTING FLOOR PLAN

DD 1.0



NEW ROOF PLAN 1/4" = 1'-0" A

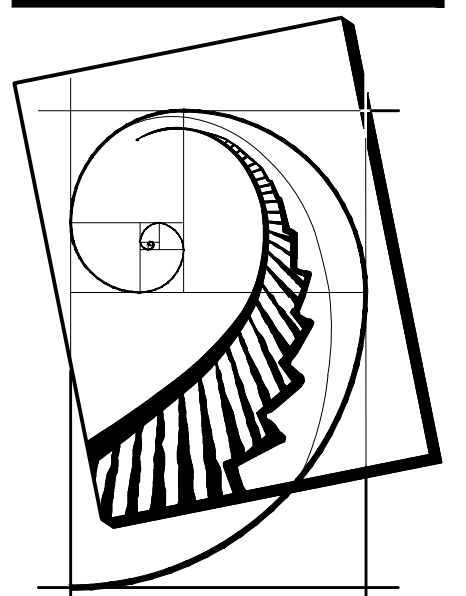
- ① (N) RTU UNITS.
- ② (N) ROOF TO BE REPLACED.
- ③ (N) ROOF ACCESS.
- ④ (N) CONDESER UNITS.
- ⑤ (N) TYPE I EXHAUST FAN UIT.
- ⑥ (N) ROOF SCUPPERS AND OVERFLOW.
- ⑦ (N) BATHROOM EXHAUST FAN.
- ⑧ (N) FLUE AND MAKEUP AIR.
- ⑨ (N) VALANCE AND SLAT WALL.
- ⑩ (N) DRIVE THRU CANOPY.
- ⑪ (N) FRUITISTA MACHINE CONDENSER.

NOT USED

B

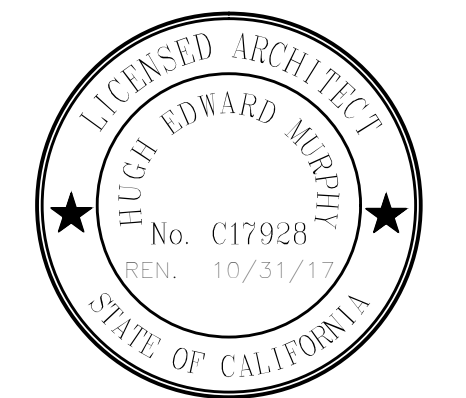
NOTES

B



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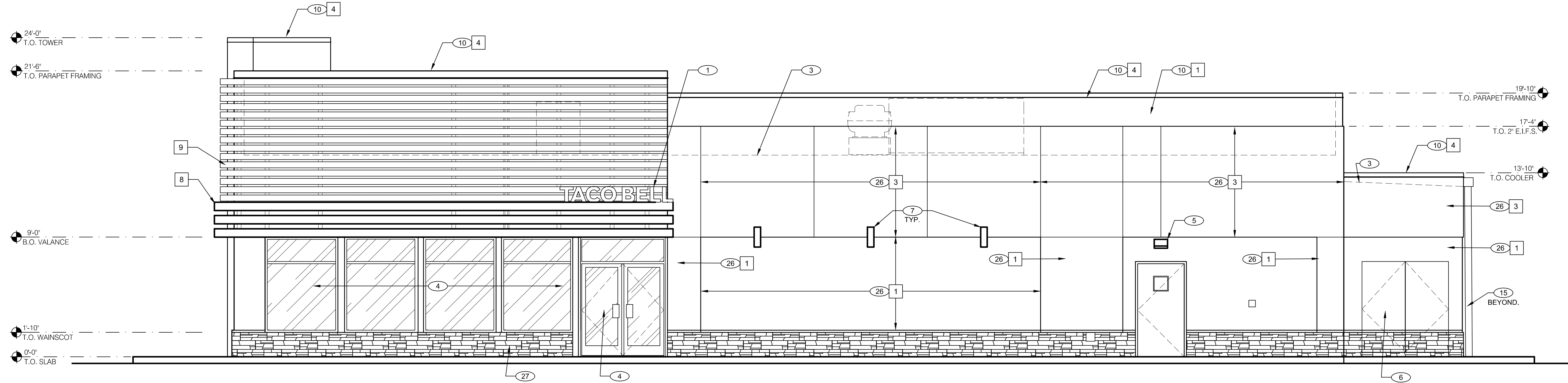
EX EXPLORER 50 LITE

ROOF PLAN

DD 2.0

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THESE DIMENSIONS DO NOT TAKE INTO ACCOUNT THE THICKNESS OF ANY FINISHES. ANY DIMENSIONS FOR ANY FINISHES, MATERIALS OR PRODUCTS SHALL BE THE RESPONSIBILITY OF THE ARCHITECT. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE VERIFICATION OF THE DIMENSIONS OF ALL PRODUCTS AND MATERIALS. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE VERIFICATION OF THE DIMENSIONS OF ALL PRODUCTS AND MATERIALS. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE VERIFICATION OF THE DIMENSIONS OF ALL PRODUCTS AND MATERIALS.



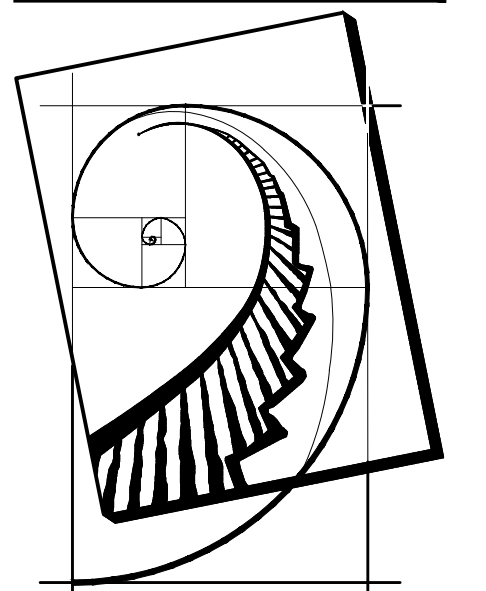
NEW NORTH ELEVATION 1/4" = 1'-0" A

SYMBOL	AREA	MANUFACTURER	COLOR	ALTERNATE MFR.	COLOR
1	MAIN WALL COLOR	SHERWIN WILLIAMS	SW 7067 "CITYSCAPE"		
2	TRIM COLOR	SHERWIN WILLIAMS	IRON ORE SW7069		
3	ACCENT WALL COLOR	SHERWIN WILLIAMS	SW 6098 "PACER WHITE"		
4	CONTINUOUS PARAPET CAP	SHERWIN WILLIAMS	IRON ORE SW7069		
5	WALL COLOR BEHIND SCREEN WALL	SHERWIN WILLIAMS	SW 6831 "CLEMATIS"		
6	PIPE BOLLARDS	SHERWIN WILLIAMS	DOT YELLOW		
7	STONE WALL	BORAL	VERSETTA STONE TIGHT CUT - " PLUM CREEK"		
8	VALANCE COLOR	SIGN VENDOR	SW 7034 "STATUS BRONZE" (EQUAL)		
9	SLAT WALL	SIGN VENDOR	WOOD LIKE FINISH TBD BY VENDOR		

EXTERIOR FINISH SCHEDULE E

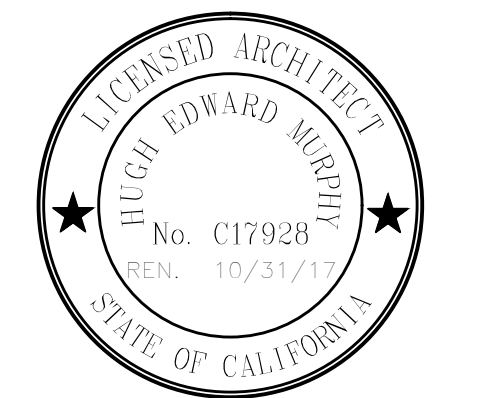
- 1 BUILDING SIGN, BY VENDOR.
- 2 DRIVE THRU WINDOW.
- 3 DASHED LINE INDICATES ROOF BEYOND.
- 4 STOREFRONT, TYPICAL.
- 5 WALL PACK LIGHT FIXTURE.
- 6 SWITCH GEAR, PAINT TO MATCH WALL.
- 7 LIGHT SCENCE. ALIGN BOTTOM OF FIXTURE'S MOUNTING BRACKET WITH EIFS REVEAL / CHANGE IN EIFS THICKNESS.
- 8 ASSUME D/T LANE SURFACE IS 6" BELOW THE FINISH FLOOR. REFER TO GRADING & SITE PLAN.
- 9 TOWER WITH METAL PANEL FINISH.
- 10 PARAPET COPING. IF DURO-LAST EDGE TRIM IS USED. USE THE DURO-LAST PRE-FINISHED EDGE TRIM.
- 11 CO2 FILLER VALVE & COVER.
- 12 DRIVE-THRU CANOPY BY OTHERS.
- 13 GAS SERVICE.
- 14 WALL SHALL BE FINISHED PRIOR TO INSTALLATION OF SWITCHGEAR.
- 15 SCUPPER, COLLECTOR, AND VERTICAL DOWNSPOUT 6" MIN. PAINT TO MATCH ADJACENT WALL.
- 16 CONCRETE CURB.
- 17 RTU BEYOND. PAINT TO MATCH MAIN BUILDING COLOR.
- 18 BREAK METAL COVER OVER WOOD STUDS TO MATCH STOREFRONT.
- 19 OVERFLOW SCUPPER, SEE ROOF PLAN.
- 20 BOLLARD
- 21 DUROLAST SINGLE MEMBRANE ROOFING OR EQUAL.
- 22 IF THE DURO LAST PARAPET CAP TRIM IS USED, IT SHALL NOT BE PAINTED.
- 23 STOREFRONT DOOR. REFER TO DOOR SCHEDULE.
- 24 HOSE BIBB LOCATION.
- 25 GUTTER AND DOWNSPOUT. PAINT TO MATCH COLUMN
- 26 CEMENT PLASTER.
- 27 LEDGER STONE WAINSCOT.

KEY NOTES C



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RECORD DATES	
DD SUBMITTAL	6/28/17
BLDG. SUBMITTAL	-
BID SET	-
CONTRACT SET	-

REVISIONS	

CLIENT
 Silver Oak Management Corp
 2621 Shilford Road
 Auburn, CA 95603
 Walter Plunkett
 (916)663-0117

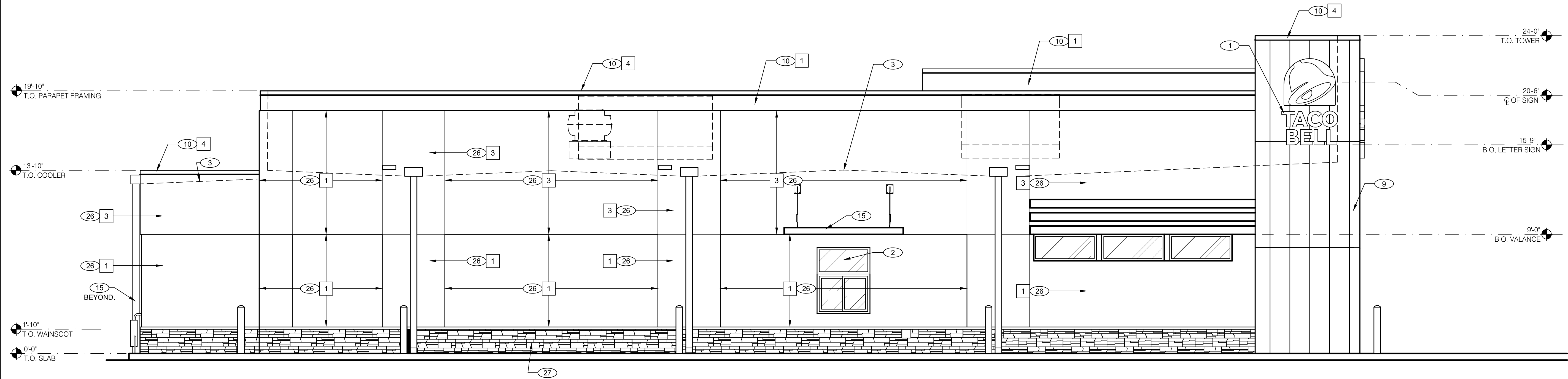
PROJECT
 TACO BELL
 Settlers Village
 1912 Highway 65
 Wheatland, CA 95692


EX EXPLORER 50 LITE

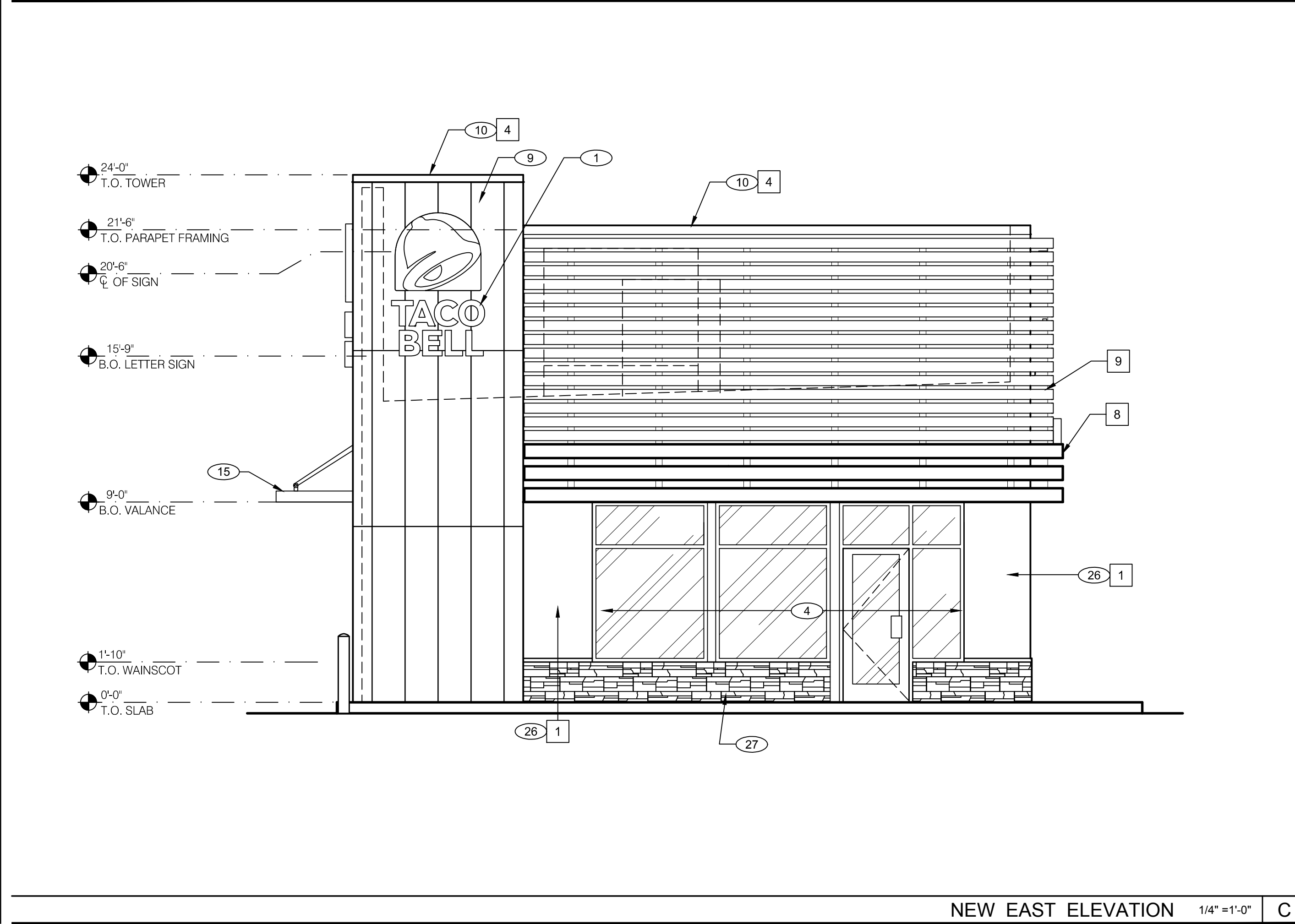
EXTERIOR
 ELEVATION
DD 3.0

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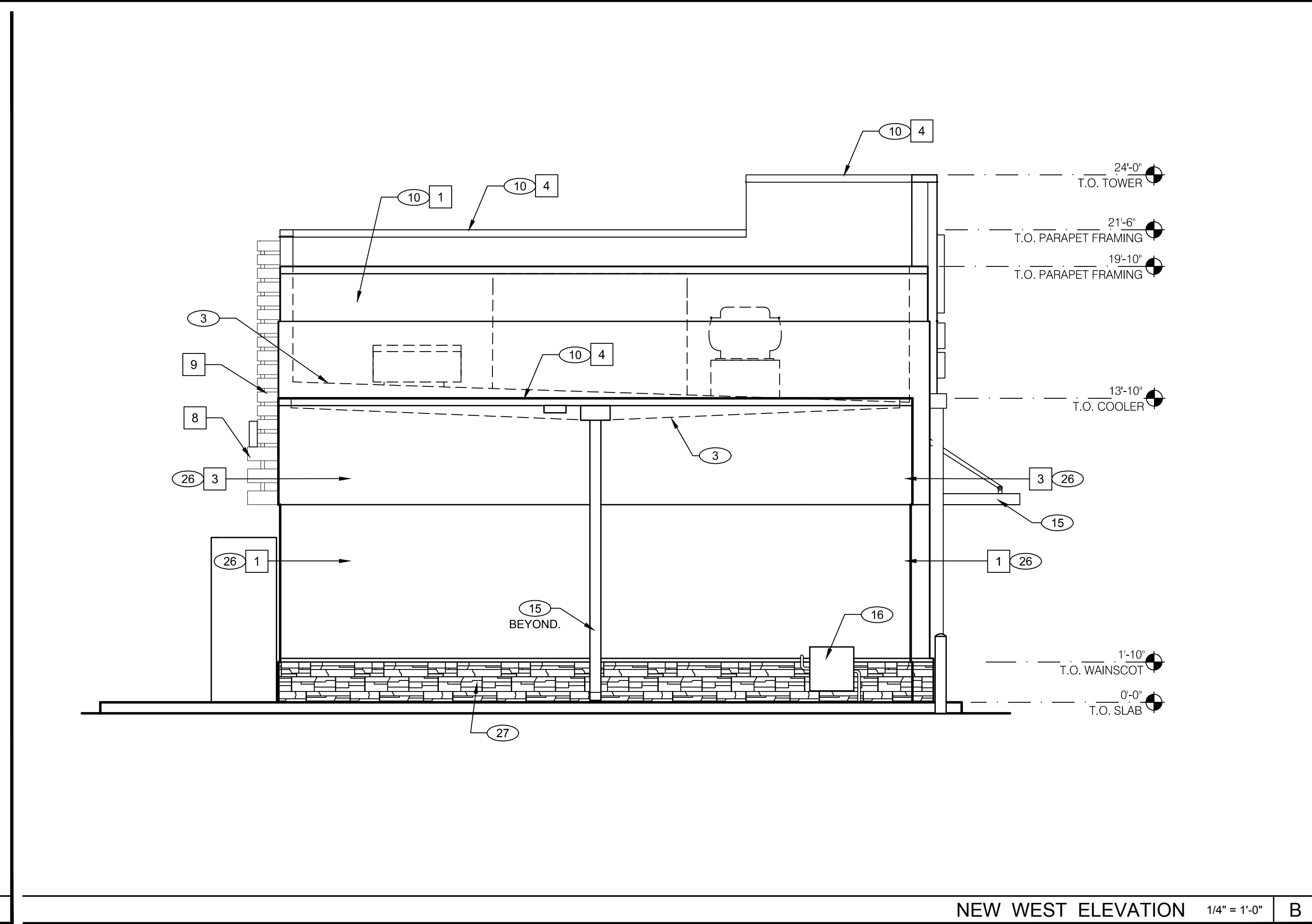
THESE DIMENSIONS GOVERN OVER ALL OTHER DIMENSIONS. CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THEREAFTER. THE USER OF THESE DRAWINGS SHALL BE RESPONSIBLE FOR ANY PERSON, FIRM OR COMPANY FOR ANY DAMAGE, LOSS OR INJURY TO PERSONS OR PROPERTY CAUSED BY THE USER'S NEGLIGENCE OR MISUSE OF THESE DRAWINGS. THE USER OF THESE DRAWINGS SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE USER OF THESE DRAWINGS SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE USER OF THESE DRAWINGS SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.



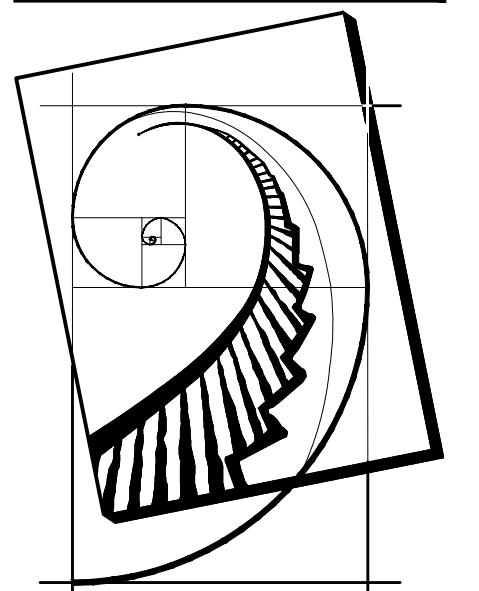
NEW SOUTH ELEVATION 1/4" = 1'-0" A



NEW EAST ELEVATION 1/4" = 1'-0" C

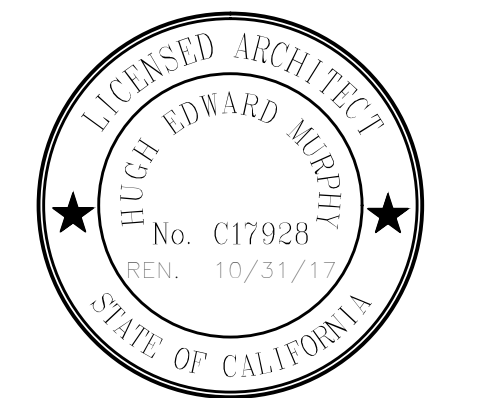


NEW WEST ELEVATION 1/4" = 1'-0" B



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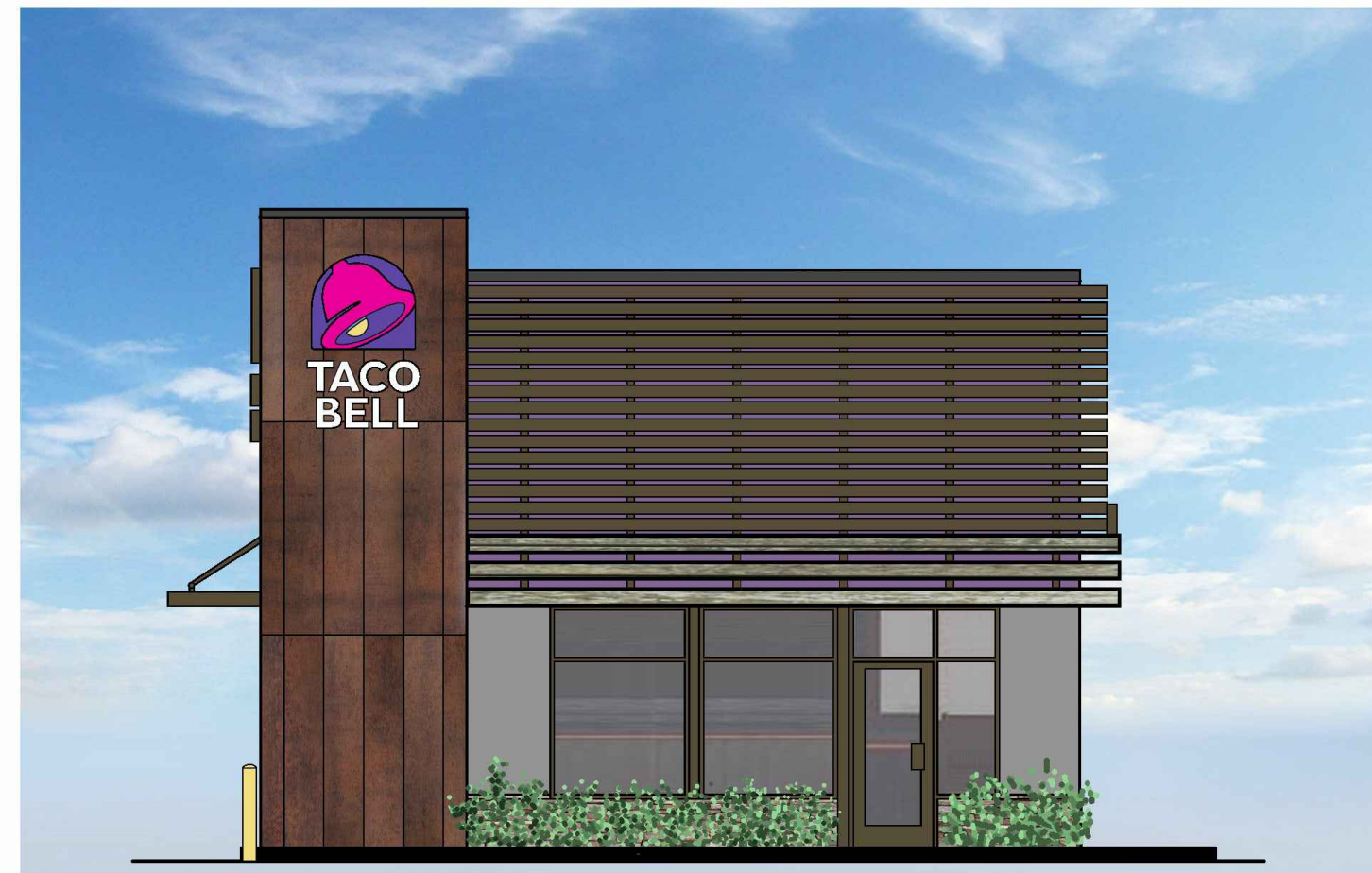
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EXTERIOR
 ELEVATIONS
DD 3.1



EAST ELEVATION



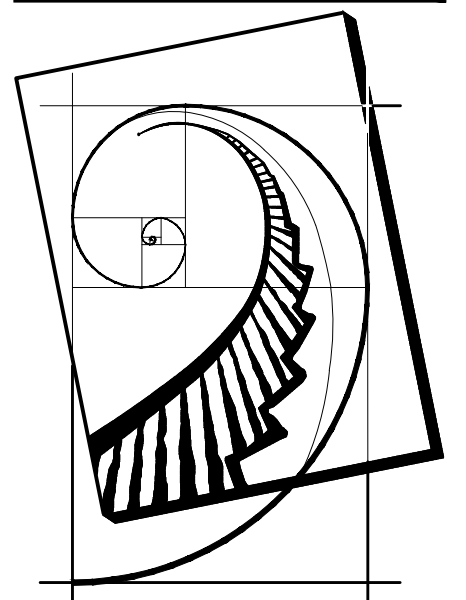
WEST ELEVATION



NORTH ELEVATION

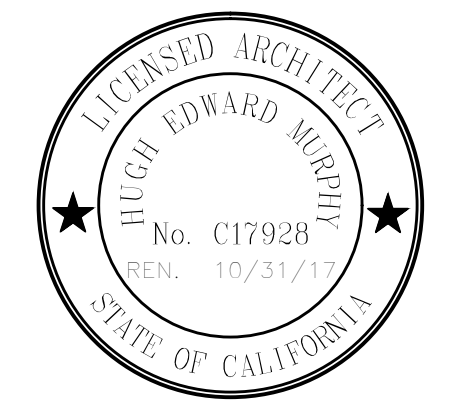


SOUTH ELEVATION



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EX EXPLORER 50 LITE

COLOR
 EXTERIOR
 ELEVATION

DD 4.0

PLANT SCHEDULE

TREES	BOTANICAL NAME	COMMON NAME	CONT	QTY	WATER USE	
GEI PAR	Geijera parviflora	Australian Willow	15 gal	4	Low	
LAG MUS	Lagerstroemia indica 'Muskogee'	Muskogee Crape Myrtle	15 gal	6	Low	
QUE COC	Quercus coccinea	Scarlet Oak	15 gal	4	Medium	
SHRUBS	BOTANICAL NAME	COMMON NAME	SIZE	QTY	WATER USE	
ARC HOW	Arctostaphylos densiflora 'Howard McMinn'	Howard McMinn Manzanita	5 gal	29	Low	
CIS PUR	Cistus x purpureus	Orchid Rockrose	5 gal	13	Low	
HEM MON	Hemerocallis x 'Monie'	Starburst Evergreen Daylily	1 gal	117	Low	
HES BRA	Hesperaloe parviflora 'Brakelights'	Brakelights Red Yucca	1 gal	17	Low	
LIG TEX	Ligustrum japonicum 'Texanum'	Wax Leaf Privet	5 gal	34	Low	
MUH RIG	Muhlenbergia rigens	Deer Grass	5 gal	16	Low	
NAS TEN	Nassella tenuissima	Texas Needle Grass	1 gal	156	Low	
OLE LIT	Olea europaea 'Little Ollie'	Little Ollie Olive	5 gal	7	Low	
VINE/ESPALIER	BOTANICAL NAME	COMMON NAME	SIZE	QTY	WATER USE	
PAR TRI	Parthenocissus tricuspidata	Japanese Creeper	1 gal	4	Medium	
GROUND COVERS	BOTANICAL NAME	COMMON NAME	CONT	SPACING	QTY	WATER USE
ARC UVA	Arctostaphylos uva-ursi	Kinnikinnick	1 gal	36" o.c.	66 sf	Low
JUN CON	Juniperus conferta	Shore Juniper	1 gal	54" o.c.	1,065 sf	Low

Mulch to be evenly distributed throughout all shrub and groundcover areas (not turf and Fescue) unless otherwise noted on plans. Mulch to be nitrogen stabilized, max. 3/4", recycled material installed at min. 3" depth. Contractor to provide sample for approval prior to installation. "Gorilla-Hair" is not acceptable unless specifically noted for slope areas.

Cobble Install dry cobble stream bed with boulders. Cobble area to be depressed into grade.

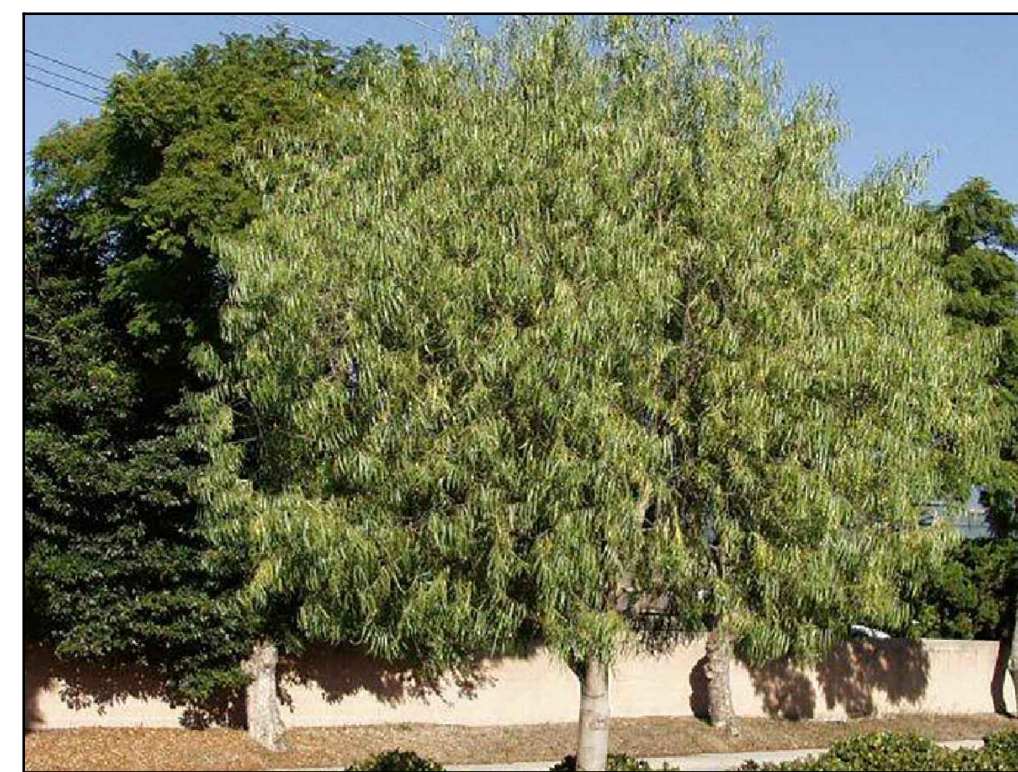
Existing Landscape plants (shrubs and groundcover) to remain

Existing Lawn to remain

Existing trees

This plan represents the design style and theme of the landscape design and planting. These plans are preliminary and may change through the design process. The final planting plan may not contain all of the above plants in the sizes as shown. Additionally some new plant species may be used in the final design. This plan does however indicate the quantity of trees and the overall level of landscape development that will be carried through with the final design.

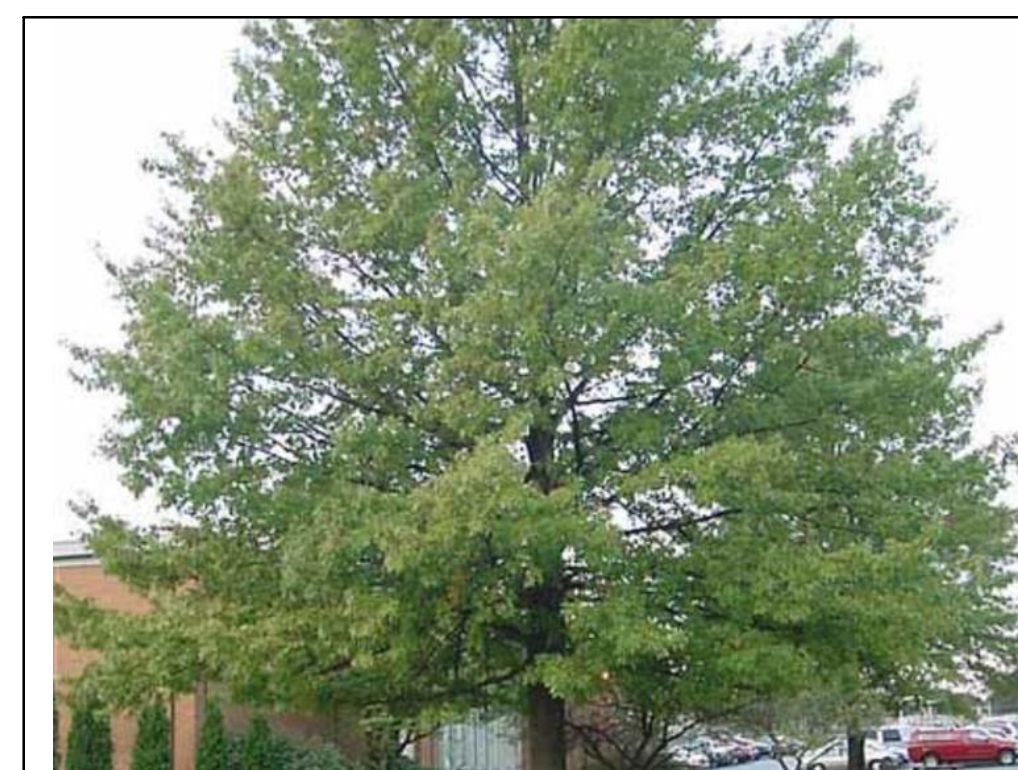
Final landscape design shall meet City of Wheatland codes and requirements as well as Project Specific Conditions of Approval. Final design is subject to approval through the building permit review process.



Geijera parviflora
Australian Willow



Lagerstroemia x Muskogee
Crape Myrtle



Quercus coccinea
Scarlet Oak



Irrigation

The entire site will be irrigated using a fully automatic system. The irrigation system will be all spot drip and/or low-flow bubblers. The system will include in-line valves, quick couplers, and gate valves, as well as backflow prevention to meet all local and CBC codes. Automatic controller will be a 'Smart' controller as manufactured by Rainbird, Hunter, Toro, or equal. The irrigation design will be compliant with the City of Wheatland Water Efficient Landscape Ordinance.

Tree Root Barriers

All trees denoted with the root barrier symbol are to have a linear DeepRoot Model #UB 18-2 root barriers installed during tree installation along the inside edge of the adjacent curb or sidewalk. The following minimum number of panels are to be installed with each tree on each side of the tree that has sidewalk or curb as denoted on the plans:

15 gallon trees	5 panels
24" box trees	6 panels

Tree sizes not listed above are to be installed with the quantity of panels as specified by the manufacturer.

Landscape Concept

The landscape design concept for the Taco Bell Wheatland is to provide an enjoyable and aesthetic space for employees and customers that fits within the landscape framework of the existing neighborhood and the surrounding area, as well as the requirements of the City. The project is a new Taco Bell restaurant that is part of a larger retail development. Plant material has been selected that performs well in the special conditions of the Valley (Sunset Zone #8, #14).

No new high water use turf areas are included. Low and medium water use hardy trees, shrubs and groundcover are proposed for the landscape throughout the site. The landscape (and associated irrigation) will be designed to be compliant with City of Wheatland's Water Efficient Landscape Ordinance (WELo).

Special considerations have been provided in selection of plant material that respect the needs of the facility as well as the customers. Clear and secure view corridors have been provided to ensure safety of the customers entering and moving around the site.

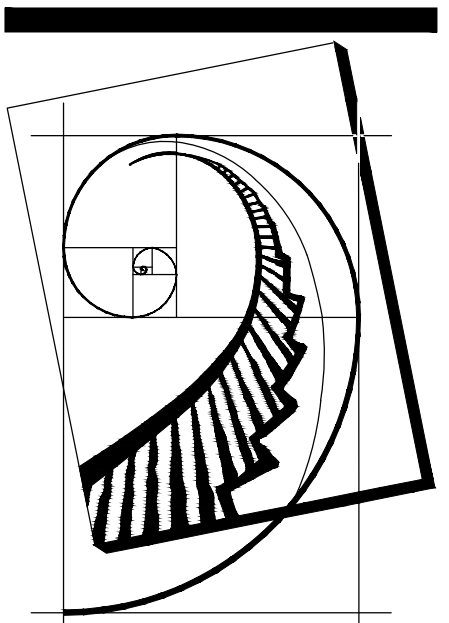
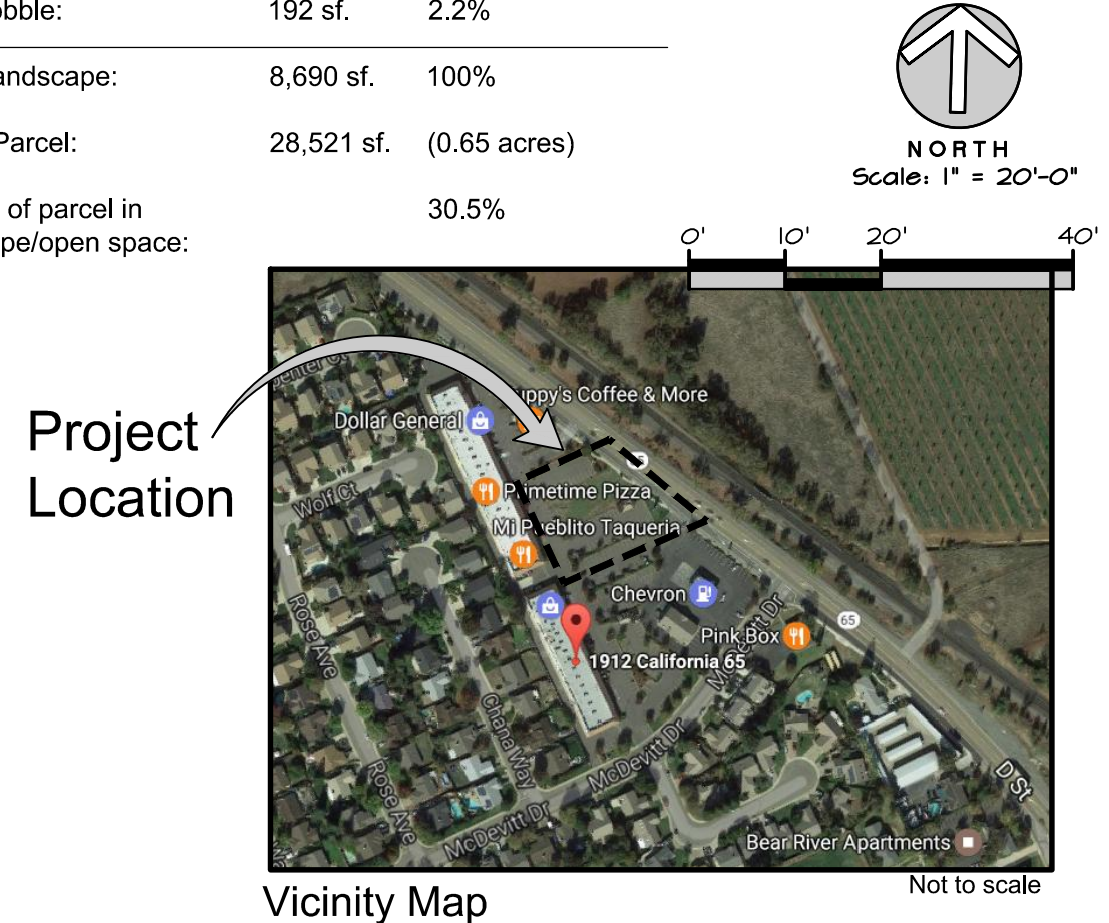
Landscape Areas

New Turf:	0 sf	0%
Existing Turf to remain:	1,971 sf.	22.7%
New Shrub:	6,527 sf.	75.1%
New Cobble:	192 sf.	2.2%

Total Landscape: 8,690 sf. 100%

Site of Parcel: 28,521 sf. (0.65 acres)

Percent of parcel in landscape/open space: 30.5%



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June 28, 2017



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Sonoma, CA 95070
(209)532-2886 (209)532-9510 fax

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Preliminary Landscape Plan

L0.1