

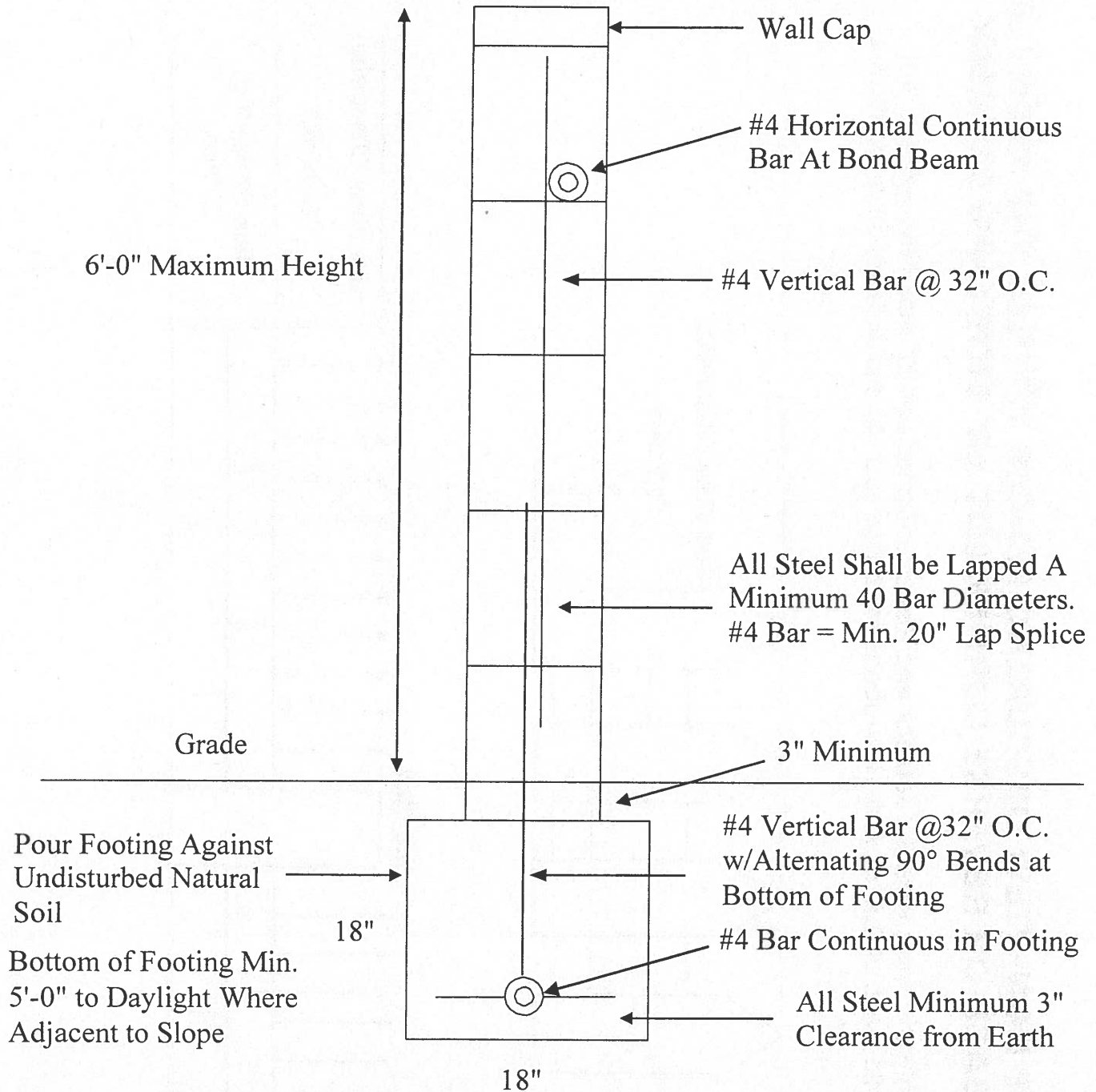


Community Development Dept., Building and Safety, 6650 Beach Blvd., B.P. 90621
Office #714/562-3636

STANDARD BLOCK WALL

(Garden Wall)

Standard Concrete Block Garden Wall

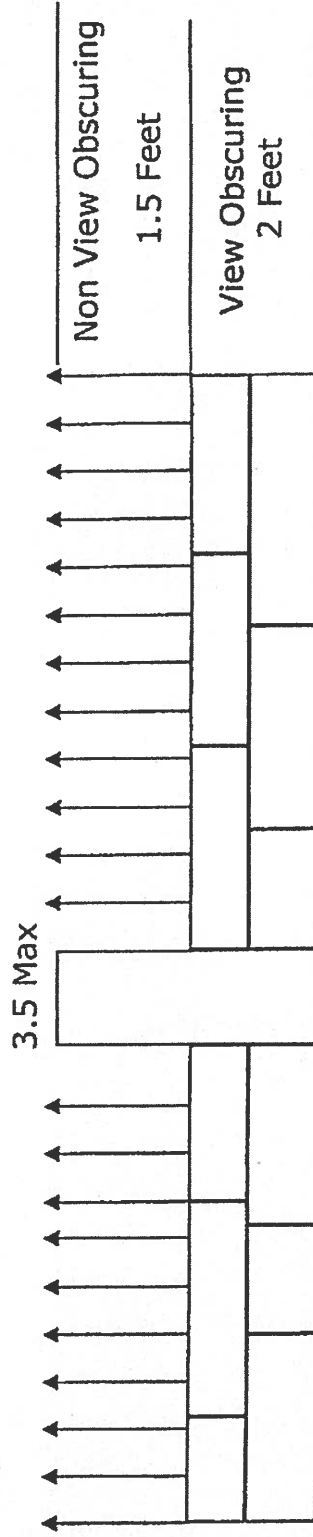
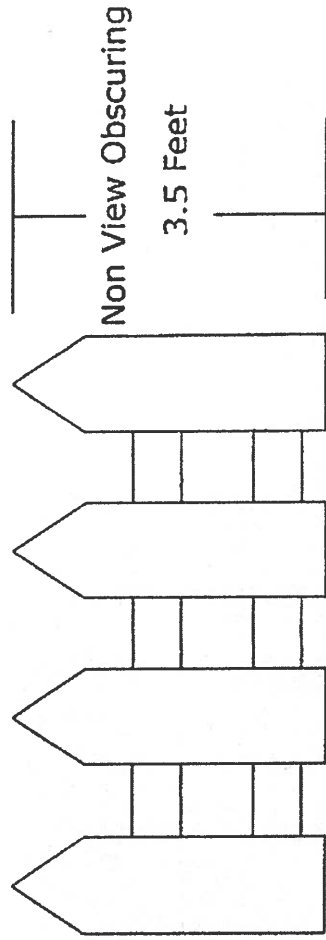


Notes:

1. Concrete block shall be Grade "A" units conforming to ASTM C90.
2. Concrete and grout shall be machine mixed, 2,500 psi @ 28 day ultimate compressive strength.
3. All cells with reinforcing steel to be grouted solid, including bond beam course.
4. Provide adequate drainage behind wall (Do not block drainage).
5. Call for footing inspection when 1.) footing excavation is clean and steel is in place; and, 2.) when blocks are laid just prior to grouting.
6. This wall detail is not approved for commercial or subdivision-type developments.
7. This wall detail not approved for expansive soils areas.
8. Walls greater than 6'-0" in height will require separate engineering.
9. Provide vertical control joints every 40'-0"
10. 12"x12" footing permitted for walls up to 4'-0" in height.

EXAMPLES OF NON-VIEW OBSCURING FENCES WITHIN THE FRONT 20' YARD SETBACK OR REVERSE CORNER LOT 10' SIDEYARD SETBACK

All walls within the front yard 20' setback and Reverse Corner Lot 10' side yard setback are limited to 2' solid walls of 3.5' or non-view-obscuring fence such as picket fence or wrought iron.



COMMON PROPERTY LINE WALL AGREEMENT

THIS AGREEMENT made and entered into this _____ day of _____, by the following property owners to permit the construction of a common property line wall:

SUBJECT PROPERTY ADDRESS: _____

Print Name

Signature of Property Owner

ADJOINING PROPERTY 1 ADDRESS: _____

Print Name

Signature of Property Owner

ADJOINING PROPERTY 2 ADDRESS: _____

Print Name

Signature of Property Owner

ADJOINING PROPERTY 3 ADDRESS: _____

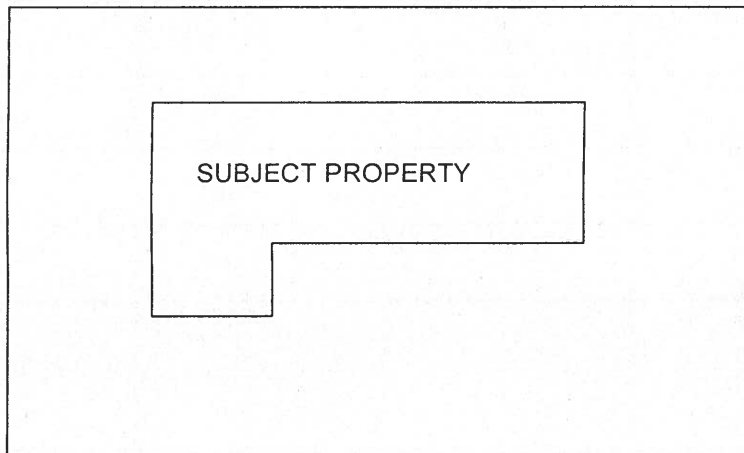
Print Name

Signature of Property Owner

PROPERTY 2:

PROPERTY 1:

PROPERTY 3



SAMPLE PLOT PLAN - Indicate all proposed fences/walls on plot plan. Include wall lengths, heights, materials and colors. All walls to be ornamental masonry min 6-inch wide. Standard grey or pink block not permitted except to match existing adjacent wall. BPMC 19.628.030

- All walls within the front yard 20' setback and Reverse Corner Lot 10' side yard setback are limited to 2' solid walls of 3.5' of non-view-obscuring fence such as picket fence or wrought iron.
- Outside of the 20' front yard setback and 10' side yard setback on Reverse Corner lots the maximum height is 6' or 7' with engineered plans.

